



## PLAN COMMISSION AGENDA

May 14, 2026 – 6:00 pm  
Village Hall  
235 Hickory Street, Pewaukee, WI 53072

To view the meeting: <https://www.youtube.com/watch?v=YOANskOwL0c>

1. Call to Order, Roll Call, Pledge of Allegiance, & Moment of Silence.
2. Public Hearings.
  - a. Conditional Use Grant request by Taqueria Don Chava to add outdoor seating. This request is located at 220 Oakton Avenue. PWV 0899001, is zoned B-2 Downtown Business District. Property owner is Salori Enterprises, LLC and Applicant is Taqueria Don Chava – Salvador Aguilero Delgado.
  - b. Conditional Use Grant and Business Plan of Operation request by Fore Seasons LLC for a golf simulator business. This request is located at 1405 Capitol Drive. PWV 0901984002, is zoned B-1 Community Business District with a Planned Development Overlay. Property owner is Chestnut Limited Partnership and Applicant is Fore Seasons, LLC.
3. Citizen Comments: *This is an opportunity for citizens to share their opinions with Commission Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Commission is not able to answer questions or respond to your comments. All comments should be directed to the Commission. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*
4. Approval of the Minutes:
  - a. Plan Commission Meeting – April 9, 2026
5. Old Business.
  - a. None
6. New Business.
  - a. Review, discussion, and possible action on Conditional Use Grant request by Taqueria Don Chava to add outdoor seating. This request is located at 220 Oakton Avenue. PWV 0899001, is zoned B-2 Downtown Business District. Property owner is Salori Enterprises, LLC and Applicant is Taqueria Don Chava – Salvador Aguilero Delgado.
  - b. Review, discussion, and possible action on Conditional Use Grant and Business Plan of Operation request by Fore Seasons LLC for a golf simulator business. This request is located at 1405 Capitol Drive / PWV 0901984002, is zoned B-1 Community Business District with a Planned Development Overlay. Property owner is Chestnut Limited Partnership and Applicant

is Fore Seasons, LLC.

c. Review, discussion, and possible action on Business Site Plan Amendment request of Heartland Dental to add an ADA accessible walkway. This request is located at 135 Capitol Drive / PWV 0898987. The 0.35-acre property is zoned B-2 Downtown Business District. The property owner is Richard and Nancy Niedziela Revocable Trust, and the applicant is Cole & Associates – Aaliyah Busch.

d. Review, discussion, and possible action on Business Site Plan / Plan of Operations Amendment request of Streetworks Exotics for a 4,225 sq. ft. building addition and associated parking area. This request is located at 600 Hickory Street / PWV 0900993001. The 2.04-acre property is zoned B-5 Light Industrial District. The property owner is Road Runner Venture LLC and the applicant is JAKnetter Architects, Inc – Jay A. Knetter

e. Review, discussion, and possible action on Business Site Plan request of Pewaukee School District for a parking lot. This request is located at 404 Lake Street / PWV 0899235004. The 4.250-acre property is zoned IPS Institutional and Public Service District. The property owner and the applicant is Pewaukee School District.

f. Review, discussion, and possible direction to staff regarding Seasonal and Temporary Uses in the Village of Pewaukee.

7. Citizen Comments. – *This is an opportunity for citizens to share their opinions with Commission Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Commission is not able to answer questions or respond to your comments. All comments should be directed to the Commission. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*

8. Adjournment

Note: It is possible that members and/or possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; action will not be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in the notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. To request such assistance, contact the Village Clerk at 262-691-5660.

Dated: May 5, 2026

**PLAN COMMISSION AGENDA**  
**April 9, 2026 – 6:00 pm**  
**Village Hall**  
**235 Hickory Street, Pewaukee, WI 53072**

To view the meeting: <https://www.youtube.com/watch?v=L8sWHdHAzjE>

**1. Call to Order, Roll Call, Pledge of Allegiance, & Moment of Silence.**

President Knutson called the meeting to order at approximately 6:00 p.m.

Plan Commission members present: Comm. Theresa Hoff; Comm. Brian Belt; Comm. Katie Jelacic; Comm. Sam Liebert; Trustee Bob Rohde; and President Jeff Knutson. Comm. Mark Grabowski arrived at 6:13 p.m.

Also present: Village Attorney, Matt Gralinski; Village Planner, Mark Lyons; Village Administrator, Matt Heiser; and Deputy Clerk, Mackenzie Quigley.

**2. Public Hearing –**

- a. Conditional Use Grant request by TNT Fireworks for seasonal fireworks sales. This request is located at 1405 Capitol Drive. PWV 0901985, is zoned B-1 Community Business District with a Planned Unit Development (PUD) Overlay. Property owner MDC Coast 29, LLC and Applicant is TNT Fireworks.**

**\*\* CANCELLED DUE TO INCOMPLETE APPLICATION\*\***

- b. Rezone request by the Village of Pewaukee to assign a zoning classification of IPS Institutional and Public Service District, to a parcel recently attached to the Village of Pewaukee. This request is located north and adjacent to 800 Main Street. PWV 0925998. Property owner Waukesha County Technical College and applicant is Village of Pewaukee.**

- No Comment

**3. Citizen Comments –**

No comment.

**4. Approval of the Minutes -**

- a. Plan Commission Meeting – February 12, 2026**

Trustee Rohde motioned/seconded by Comm. Belt to approve the February 12, 2026, Regular Plan Commission meeting minutes as presented.

Motion carried 6-0.

**5. Old Business -**

- a. None**

**6. New Business -**

- a. **Review, discussion, and possible recommendation on Rezone request by the Village of Pewaukee to assign a zoning classification of IPS Institutional and Public Service District, to a parcel recently attached to the Village of Pewaukee. This request is located north and adjacent to 800 Main Street. PWV 0925998. Property owner Waukesha County Technical College and applicant is Village of Pewaukee.**

**Village Planner Recommendations:**

The Village of Pewaukee Plan Commission recommends to the Village Board approval of the zoning request by Village of Pewaukee for the property located North and adjacent to 800 Main Street to IPS Institutional and Public Service District.

**Trustee Rohde motioned/seconded by Comm. Liebert to recommend approval to the Village Board on the rezone request by the Village of Pewaukee for the property north and adjacent to 800 Main Street to IPS Institutional and Public Service District.**

**Motion carried 6-0.**

- b. **Review, discussion, and direction to staff regarding amendment to Village of Pewaukee Zoning Code for defining building width.**

Lyons explained that the zoning ordinance references minimum building width in some residential districts but does not define how building width is measured, creating enforcement challenges—especially for corner lots. Lyons presented three potential definitions for review and discussion.

Trustee Rohde expressed a preference for Option 2 due to its simpler, more commonly used language.

- c. **Review & discussion regarding overview of previously approved outdoor dining locations within the locations within the public right-of-way.**

Lyons introduced the issue, noting that there is currently no defined maximum number of allowed outdoor seating spaces per business, nor a defined cap on the total number of parking spaces that may be converted to outdoor dining along W. Wisconsin Ave.

Hoff referenced prior discussions with the Plan Commission supporting a maximum of three spaces per business, stating that it is applied case-by-case for the scenario of there not being enough spaces for every business to obtain three adjacent to their business.

Lyons suggested formalizing language to allow “up to three spaces,” maintaining flexibility for varying circumstances. Lyons added that the code could also include provisions to prohibit the use of handicap stalls and to allocate spaces by tenant rather than by property owner, particularly in cases where a single owner operates multiple businesses.

Discussion followed regarding outdoor dining during special events, thoughts on setting a max number of stalls, as well as preferences for a safety-focused approach by eliminating all parking along W. Wisconsin Ave.

**7. Citizen Comments -**

No Comments

**8. Adjournment -**

**Comm. Liebert motioned/seconded by Comm. Belt to adjourn the April 9, 2026, Regular Plan Commission meeting at approximately 6:33 p.m.**

**Motion carried 7-0.**

Respectfully submitted,

Mackenzie Quigley  
Deputy Clerk

DRAFT

TO: Village of Pewaukee Plan Commission  
CC: Matt Heiser – Village Administrator, Jenna Peter - Clerk  
FROM: Mark Lyons, Planning Consultant  
RPT DATE: May 7, 2026  
MTG DATE: May 14, 2026  
RE: 5a – Taqueria Don Chava Conditional Use Request

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**BACKGROUND:**

1. Petitioner: Taqueria Don Chava
2. Property Owner: Salori Enterprises, LLC
3. Location/Address: 220 Oakton Avenue
4. Tax Key Number: PWV 0899001
5. Area: 0.16 AC
6. Existing Zoning: B-2 Downtown Business District
7. Proposed Zoning: N/A

**OVERVIEW:**

The Petitioners are requesting approval to add outdoor seating south of the existing building. Section 40.265(2) of the Village ordinance only allows Restaurants and nightclubs (including outdoor seating) as a Conditional Use Grant in the B-2 Downtown Business District. The applicant is proposing 6 tables with a total of 24 chairs within the outdoor seating area to complement the existing indoor seating. The area would be fenced to separate it from the parking area.

**SUBMITTAL:**

The enclosed submittal includes the Conditional Use Grant application & GIS Map.

**PLANNER COMMENTS:**

1. **Zoning Requirements:** The proposed outdoor seating is allowed only by a Conditional Use Grant in the B-2 District. The proposed use is compatible with other uses in the area and should not have an adverse impact on adjoining uses.
2. **Plan of Operations:** The applicant is proposing to utilize the south and behind the building. No interior changes to the business have been proposed as part of the Conditional Use. Additional information regarding the plan of operation is found below.

**Employees:** The applicant has indicated 4 full-time employees and 1 part-time employees will work at this location.

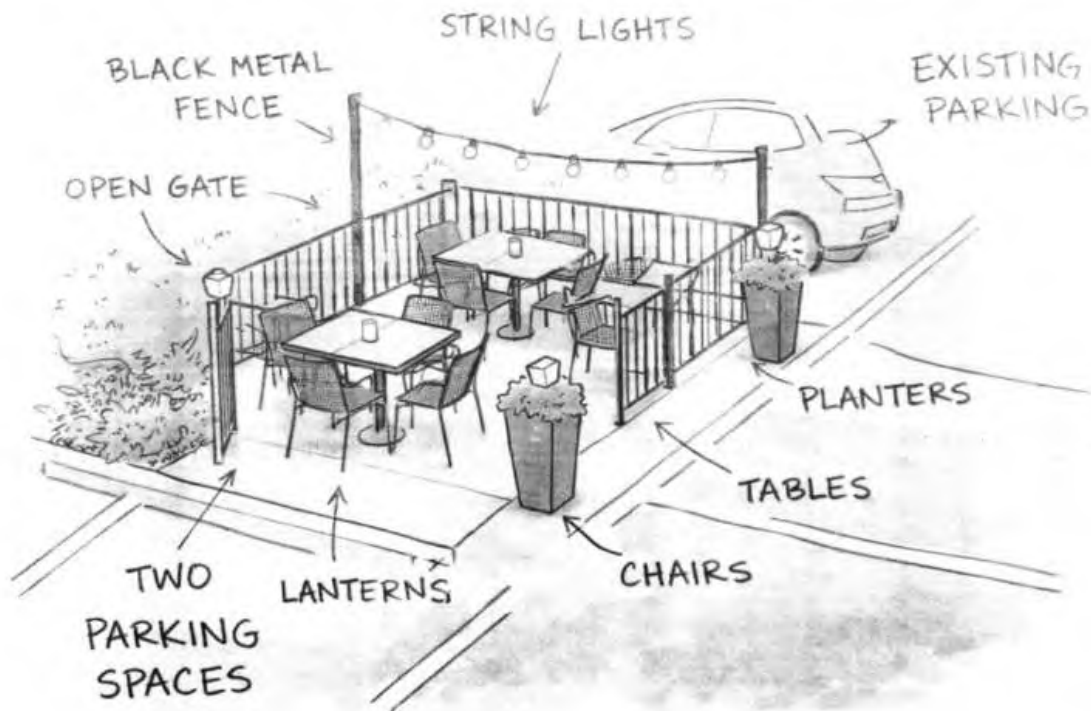
**Hours of Operation:** Hours of operation are daily from 10am-9pm.

**Site Plan:** The applicant has provided two renderings of the proposed outdoor seating area, but not a formal site plan showing the exact location. The applicant identifies the outdoor seating as being

located within two existing parking spaces; however, it is unclear how 6 tables with 4 chairs each could be accommodated with the two stalls. Additionally, the applicant indicates 7 tables and then 6 tables in different sections of their application, they will need to finalize the exact number being requested. The applicant will need to provide a final site plan showing the layout of the proposed outdoor seating area, proposed fence, landscaping and lighting prior to recording of the Conditional Use Grant. If the applicant intends to serve alcohol within the outdoor seating area they may need to update their liquor license and ensure the proposed seating area is compliant with all standards and requirements necessary for liquor licenses.



Proposed Patio in Two Parking Spaces



**STAFF RECOMMENDATION:**

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

The Village of Pewaukee Plan Commission **Approves** the Conditional Use Grant Request Taqueria Don Chava for the property located at **220 Oakton Avenue**, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of May 14, 2026, are met.
2. Final site plan / layout of the outdoor seating area shall be submitted to the Village for final approval prior to finalization of the Conditional Use Grant. Including any proposed fencing, landscaping or lighting.
3. Hours of operation shall be limited to daily from 10am-9pm.
4. This approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission.
5. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission, Village Engineer, Department of Public Works and Village Planner for the site plan, and other documentation.

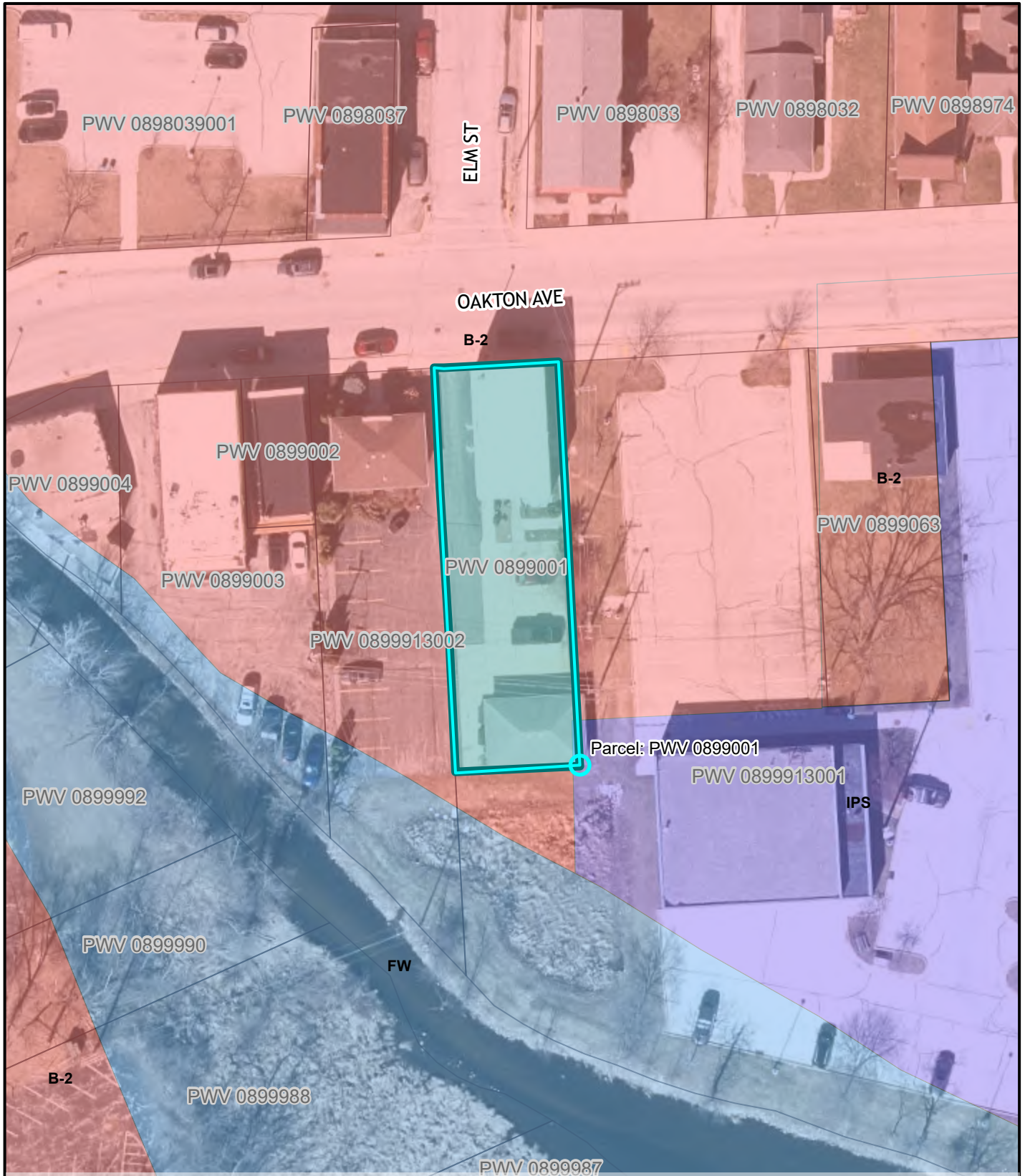
6. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
7. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new conditional use approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
8. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
9. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
10. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

**EXHIBIT:**

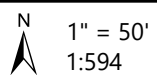
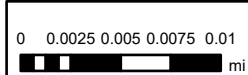
- A. GIS Property Location Map
- B. Petitioner Application



# 220 Oakton Avenue Zoning Map



SEWRPC, Waukesha County Land Information Office, SE Wisc Reg Planning Comm, Microsoft, Vantor



Village of Pewaukee  
 235 Hickory Street  
 Pewaukee, WI 53072  
 262-691-5660

Notes  
 None

DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



## Conditional Use Grant (CUG) Procedures Restaurant / Night Club & Submittal Requirements

1. Submit a fully completed Conditional Use – Restaurant / Night Club application (attached below) along with a digital copy of all attachments you wish to have considered by the Plan Commission, including:
  - One paper copy of the submittal including:
    - A Cover Letter/Narrative including
      - Proposed use of the property
      - Existing use of the property
      - Operational information on the business (if applicable) such as hours and work outside/inside of a facility
      - How the proposed site layout/structures relate to the proposed use
      - Anticipate effects of the proposed use on adjacent / surrounding properties
    - One (1) set of plans (drawn to scale) sufficient in detail to enable the Plan Commission to evaluate your application. Plans should be 11"x17" or less. If providing documents larger than 11"x17", the applicant shall provide eleven (11) printed copies, folded down to 8.5"x11". The Village will not print your submission. Examples including but not limited to:
      - Detailed Site Development Plan as described in the attached application
      - Landscaping plans, Sign plans, Architectural plans, Exterior lightning plans
      - See the attached application below for additional information
      - Grading Plan and detailed stormwater drainage plans (if applicable)
  - Completed standard Conditional Use application (attached below)
  - One digital copy of the submittal as identified above (USB/Email).
  - \$190 application fee
  - Completed Reimbursement Agreement pursuant to [40.116\(b\)](#)
    - The Village Planner, the Village's consulting Engineer, the Village Attorney and any other professionals engaged by the Village to review/evaluate/comment on your proposal may bill the Village for their services/expenses. These costs will be passed back through for reimbursement to the applicant and/or property owner. Any fees not paid will be placed on the real estate tax bill of the corresponding property.
2. Application must be submitted to Village Hall by 12:00 p.m. approximately **four weeks prior** to the scheduled Plan Commission meeting (subject to change based on holiday schedules) Please see the [Village website](#) for exact submittal dates. Plan Commission meetings are held on the second Thursday of each month at 6:00 p.m. at Village Hall.

*The four-week submittal requirement allows the Village time to review the application, obtain additional information from you if necessary, and set up the required public hearing.*
3. The following Village of Pewaukee Standards for reviewing and approving conditional uses shall apply. The applicant is responsible for demonstrating compliance to these standards and is encouraged to show compliance in their submittal narrative:
  - Village of Pewaukee Basis for Approval (Section 40.152)
    1. Materially endanger the public health, general welfare and safety; or
    2. Substantially injure the value of adjoining or abutting property; or
    3. Be inharmonious with the areas in which it is to be located; or
    4. Will not be in general conformity with the master plan, or other officially adopted plans.
4. The Village shall review applications for completeness. Incomplete applications and applications submitted without the required documents and/or payments will not be considered. Upon verification

of a full submittal, the Village shall refer the item to the Plan Commission for the next available meeting.

5. Upon referral the Plan Commission shall hold an official public hearing in the manner provided for in Section 40.115. All property owners within 300' of the subject property will be sent a notice of the public hearing.
6. Following the public hearing and necessary investigation, the Plan Commission shall, as soon as practical, render its decision.
7. If the Conditional Use Grant is approved, Village staff shall prepare the necessary documentation to be signed by the applicant, property owner and Village. It will then be recorded in the Waukesha County Register of Deeds office. The cost of the recording will be billed to the applicant.



## PROFESSIONAL SERVICES REIMBURSEMENT AGREEMENT

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukeewi.gov—262-691-5660

**PROPERTY INFORMATION**

Property Address: 230 Oakton Ave Pewaukee 53072 Tax Key: PWV0899001  
 Property Owner's Name: Salvatore Armeli Jr Phone Number: 262-751-4062

**RESPONSIBLE PARTY INFORMATION - All invoices will be mailed to this address.**

Business Name: Taqueria don chaka FEIN: 421729474  
 Person Responsible for Payment / Business Contact Name: Salvador Aguilera delgado  
 Mailing Address: W45053298 Hemet Ave Waukesha WI 53189  
 Responsible Party / Contact Phone Number: 262 744-4144  
 Responsible Party / Contact Email Address: Salaguilera31@yahoo.com

**AGREEMENT / SIGNATURES - Property Owner signature is required.**

Pursuant to the Village of Pewaukee [Code of Ordinances Sec 40.116\(b\)](#), the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff or other expert consultants are retained by the Village in order to complete a proper project review results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Treasurer shall charge those service fees incurred by the Village to the applicant/property owner. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

By signing this form, I, the undersigned, have been advised that pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner, or any other Village professional staff or other expert consultants retained by the Village in order to complete a proper project review provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

**The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.**

Property Owner Signature:  Printed Name: Salvatore Armeli Jr Date: 4-15-26

Applicant Signature:  Printed Name: Salvador Aguilera Date: \_\_\_\_\_

**For Office Use Only** Staff Initials: \_\_\_\_\_ Date Received: \_\_\_\_\_

See [the municipal code regarding site structure design criteria for the commercial, industrial, park, institutional, and multi-family residential developments](#) for a complete listing of plan requirements. Additional plan details may be required on a case-by-case basis if the Village's review staff or the Planning Commission finds such information is necessary to complete a full and proper project review.

#### **DETAILED SITE PLAN**

engineering scale	floodplain and/or wetland boundary
Location/vicinity map	sign location (may require additional approval)
north arrow	exterior light locations
footprint of dimensioned property lines	phasing lines
existing & proposed buildings	floor area ratio
footprint of existing adjacent buildings	open space ratio
driveway location	site acreage
parking stalls	sidewalks/pedestrian walkways
adjacent public streets	dumpster/recycling area location
easements	ground HVAC and/or utility installations
setback & offset dimensions	fence location
pond/detention location	such other details as may be determined necessary

#### **DETAILED ARCHITECTURAL PLAN**

architectural scale	dimensioned building façade sign
all building views/elevations w/scale	exterior utility boxes
detailed materials specifications	
building height dimension	exposed HVAC equipment
general floor plan with dimensions	dumpster/recycling area location and screening
	samples of building materials (for presentation to Planning Commission)
exterior building materials and colors	building mounted lighting fixtures
	such other details as may be determined necessary

#### **DETAILED LANDSCAPING PLAN**

existing and proposed two-foot contour lines at the local datum (floodplain property should be identified at USGS datum)

pond/detention location

stormwater and erosion control devices

#### **SIGNAGE PLAN**

scaled design drawing of freestanding and/or facade signs

sign specifications and color (wattage, material, dimensions)

#### **EXTERIOR LIGHTING**

light fixture design detail and specifications

iso footcandle lighting dispersion plan



**CONDITIONAL USE APPLICATION—  
RESTAURANT/NIGHT CLUB**

235 Hickory St, Pewaukee WI 53072 - villagehall@villageofpewaukee.gov - 262-691-5660

**BUSINESS LOCATION INFORMATION**

Property Address: 220 A Oakton Ave Pewaukee WI Tax Key: PWV 0899001  
 Zoning of Property: B2 downtown Business Property Owner Name: Salvatore Armeli Jr.  
 Property Owner Email: Salaguiera31@yahoo.com Property Owner Phone #: 2627514062

**APPLICANT INFORMATION**

Restaurant Name: Taquiera donchara  
 Restaurant Mailing Address: 220 A Oakton Ave Pewaukee WI 53072  
 Email: Salaguiera31@yahoo.com Phone #: 262 744-4144

**PROVIDE A GENERAL DESCRIPTION OF THE RESTAURANT/NIGHT CLUB BUSINESS PLAN OF OPERATIONS**

Our restaurant is casual dining establishment offering a mix of classic and contemporary dishes, specializing in Mexican food. We operate seven days a week serving lunch and dinner. Our plan includes providing both indoor and outdoor seating with newly proposed patio area for additional guest space.

**FORMS REQUIRED ARE BELOW**

- Conditional Use Grant Application
- Professional Services Reimbursement Notice
- Detailed Site Plan drawn to scale

**PROPOSED DAYS & HOURS OF OPERATION**

Monday thr Sunday 10 am - 9 pm

**For Office Use Only:** Staff Initials: \_\_\_\_\_ Date/Time Received: \_\_\_\_\_  
 All forms are completed? \_\_\_\_\_ Digital copy sent/attached? \_\_\_\_\_

**INDOOR SEATING AREA** Please indicate total square footage, tables and seats.

7 tables 28 chairs

**BAR AREA SIZE** Please indicate total square footage, tables and seats.

NO Bar area

**OUTDOOR SEATING AREA** Please indicate total square footage, tables and seats.

6 outdoor tables 6 tables 4 chair  
24 seats each

**DRIVE UP OR WALK UP WINDOW**  YES  NO Explain below:

**ADDITIONAL QUESTIONS**

Carry-out sales: 46 % of total sales

Alcohol sales: 20 % of total sales

Employment: 4 total employees 3 full-time 1 part-time

Number of employees on the largest shift: 4

Time of day with largest shift:  breakfast  lunch  dinner  after 7pm

**MENU DESCRIPTION**

Mexican food Tacos Burrito's quesadillas  
Chimichanga Specialty plates

**PROPOSED ENTERTAINMENT**  YES  NO Explain below:

during summer hours we are planning  
on having live music Fridays 4:30pm - 8:00pm



# CONDITIONAL USE GRANT APPLICATION FORM

Fee \$190

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukee.gov— 262-691-5660

**PROPERTY / PROPERTY OWNER INFORMATION**

Property Address: 220 A Oakton Ave Pewaukee 53072 Tax Key: PWV 0899001

Property Owner Name: Salvatore Armeli Jr. Zoning of Property: B2 downtown Business

**APPLICANT INFORMATION**

Applicant Name: Salvador Aguilera delgado Applicant Phone #: 262 744 4144

Applicant Address: W250 S3298 Hemit Ave Waukesha WI 53189

Applicant Email: Salaguileras31@yahoo.com

**DESCRIPTION OF REQUEST (Please be thorough and attach additional pages if needed)**

Business Name, if applicable: Taquiera don Crava

FEIN, if applicable: 421729474

Description of Proposed Use (Restaurant/Retail/Office): We propose to transform a portion of our back parking area into a fenced out door patio seating space. the patio will host a number of 7 table and 28 chairs. to ensure safety and separation from vehicles a secure fence will enclose the area.

**DIRECTIONS / NOTES—See page 4 for specific items required**

NOTE: As this is for consultative purposes only, an engineering review will not take place at this time. An engineering review will take place if/when a formal application for approval is submitted.

Please include the following required items with this application:

- 1. One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less. Also provide one full size scale copy if larger than 11x17.
- 2. One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email)
- 3. Completed Professional Services Reimbursement Form
- 4. Signatures on page 3
- 5. Conditional Use for Restaurant/Night Club must be attached if applicable

**For Office Use Only** Staff Initials: \_\_\_\_\_ Date/Time Received: \_\_\_\_\_

**Provide detailed information with your application that addresses the following:**

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate your application such as architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, site grading and drainage, exterior lighting, dumpster location and screening, outside storage of any sort, and manner of control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & ensure general compatibility of the proposed use within its surroundings.
2. It is the responsibility of the applicant/owner to ensure that the proposed project complies with the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted [Land Use Plan](#) to ensure a proper understanding of the Village's future vision for the area in question.

Salvatore Arnet Jr

**Property Owner Printed Name**

[Handwritten Signature]

**Signature of Property Owner**

The application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Salvador Aguilera delgado

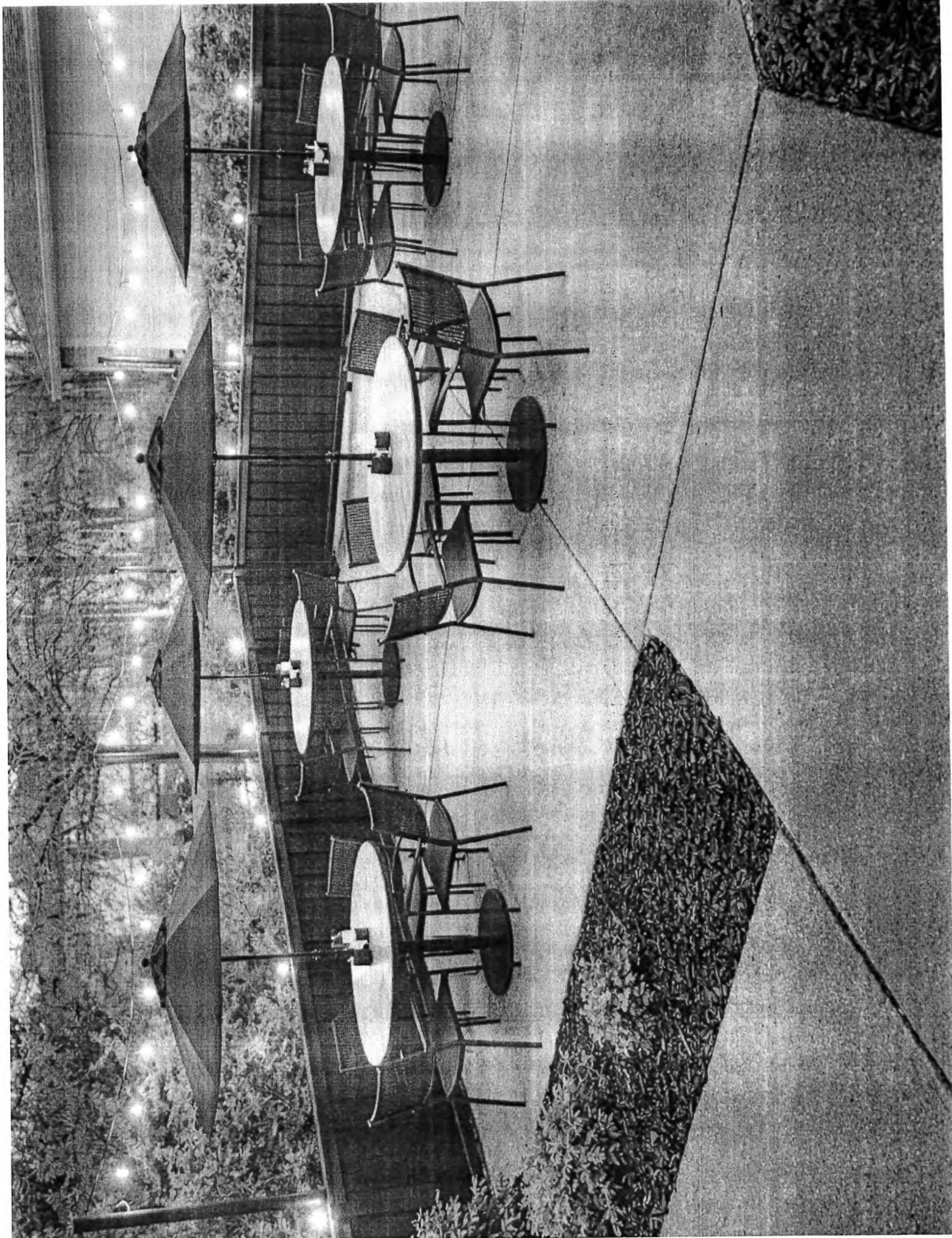
**Applicant's Printed Name**

[Handwritten Signature]

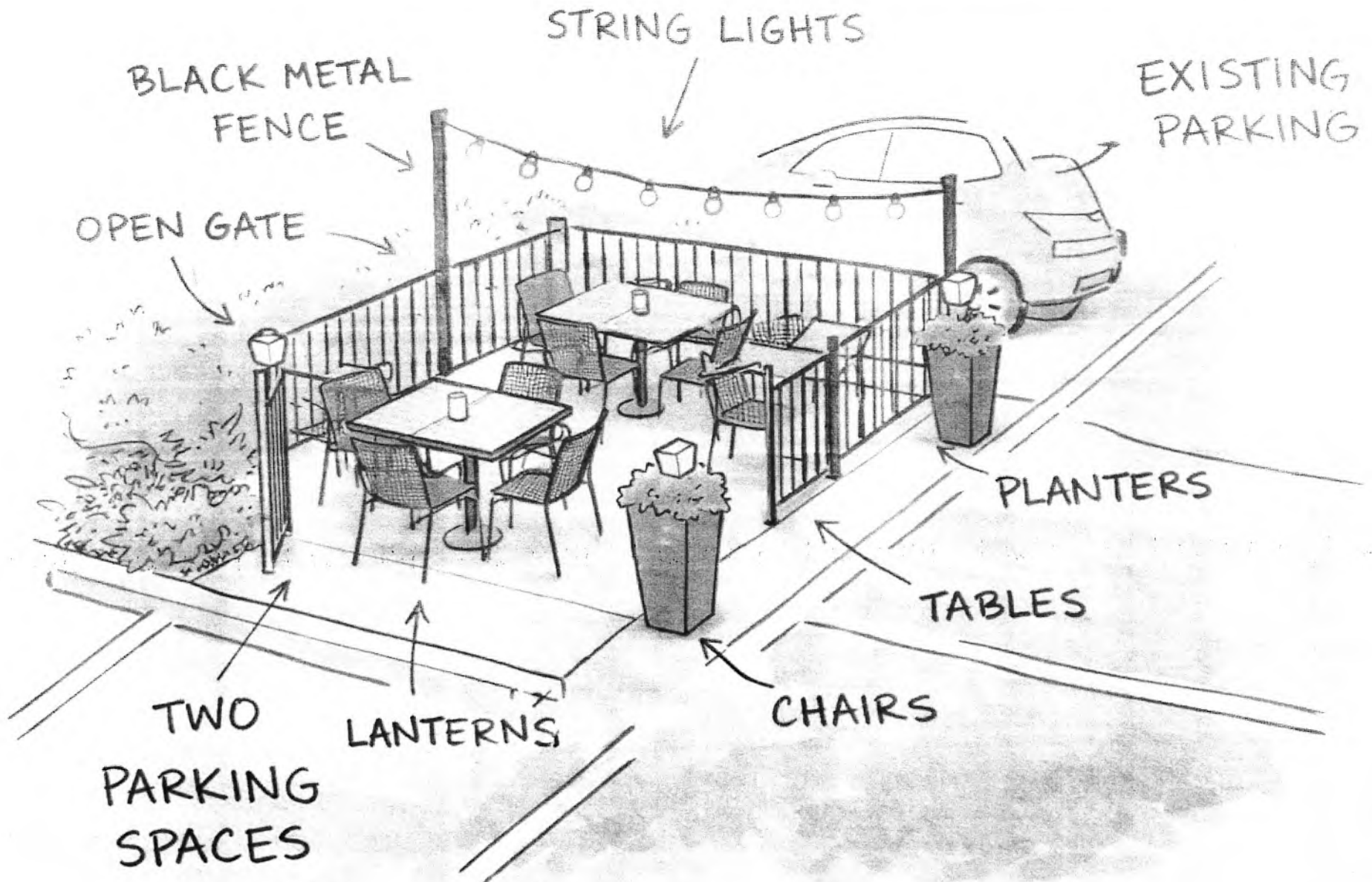
**Signature of Applicant**

Return the completed application forms along with the required attachments, **\$190** application fee, and a digital copy of the submittal (plus paper copies if required) to Pewaukee Village Hall, 235 Hickory Street, Pewaukee, WI 53072.

If you have any questions, please call Village Hall at (262) 691-5660.



# Proposed Patio in Two Parking Spaces



TO: Village of Pewaukee Plan Commission  
CC: Matt Heiser – Village Administrator, Jenna Peter - Clerk  
FROM: Mark Lyons, Planning Consultant  
RPT DATE: May 7, 2026  
MTG DATE: May 14, 2026  
RE: 5b – Fore Seasons Conditional Use Request

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**BACKGROUND:**

1. Petitioner: Fore Seasons, LLC
2. Property Owner: Chestnut Limited Partnership
3. Location/Address: 1405 Capitol Avenue Suites B-E
4. Tax Key Number: PWV 0901984002
5. Area: 4.63 AC
6. Existing Zoning: B-1 Community Business District with a Planned Development Overlay
7. Proposed Zoning: N/A

**OVERVIEW:**

The Petitioners are requesting approval to establish a golf simulator business within units b-e of the multi-tenant commercial building located at 1405 Capitol Drive. Section 40.250(9) of the Village ordinance only allows Indoor entertainment facilities as a Conditional Use Grant in the B-1 Downtown Business District. The applicant proposes renovating the units into a 6,300 sq. ft. entertainment use. The development would consist of 7 golf simulator bays, as well as, new bathroom, bar and kitchen areas.

**SUBMITTAL:**

The enclosed submittal includes the Conditional Use Grant application, GIS Map & supporting documents.

**PLANNER COMMENTS:**

The petitioner originally submitted for building permit with the City of Pewaukee, after review it was determined a Conditional Use Grant was required within the B-1 District. There are no substantial changes proposed to the exterior or interior of the building as part of this request.

1. **Zoning Requirements:** The proposed indoor entertainment use is allowed only by a Conditional Use Grant in the B-1 District. The proposed use is compatible with other uses in the area and should not have an adverse impact on adjoining uses. The existing Plan Unit Development Overlay approval is not impacted by the redevelopment of these units and no PUD amendment is necessary as part of the request. The PUD does however regulate signage for the site and requires Plan Commission approval for all signs on the building. The applicant has not provided sign drawing as part of this request and therefore, will need to come back to the Plan Commission at a future date for approval of any proposed signs.

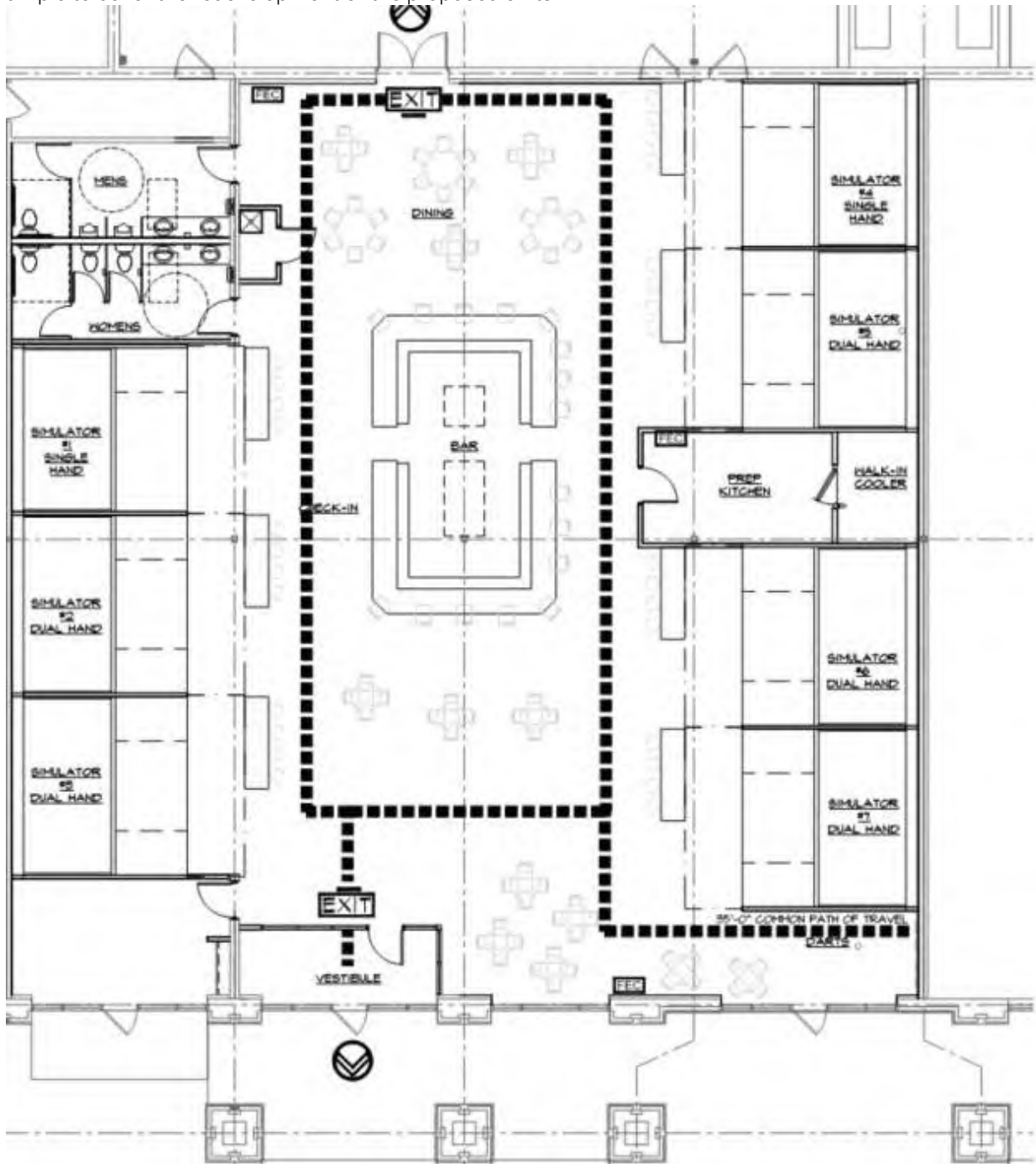
**Employees:** The applicant has indicated 5 part-time employees will work at this location.

**Hours of Operation:** Proposed hours of operation are:

Monday – Saturday: 10:00am-11:00pm

Sunday: 10:00am-9:00pm

**Traffic:** The applicant anticipates 75 customers per day. The site includes a large parking area which is ample to cover the redevelopment of the proposed units.



**Department of Public Works:** The Department of Public Works reviewed the plans and additional conditions have been included below at their request.

1. A grease trap should be installed for food serving uses.
2. Provide televising video showing Sanitary sewer lateral from basement to the main. The lateral needs to be reviewed for structural integrity and potential infiltration. The Village staff or designated representative will review the sewer lateral video and check if the lateral condition is adequate or needs rehabilitation. If the work cannot be completed prior to issuance of permit or occupancy, then posting a \$5,000 financial guarantee is acceptable to allow applicant to proceed. This includes costs for televising and potential work on sewer lateral.
3. Schedule and conduct appointment with the Water Utility Department staff to identify the water service pipe material prior to issuance of permit. If service material is lead, the Applicant will be required to replace the water service from building to the curb stop. The phone number for the Water Utility is 262-200-7506.

**STAFF RECOMMENDATION:**

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

The Village of Pewaukee Plan Commission **Approves** the Conditional Use Grant Request Fore Seasons, LLC for the property located at **1405 Capitol Drive Units B-E**, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of May 14, 2026, are met.
2. All proposed exterior signs shall be submitted to the Plan Commission for separate consideration in accordance with the existing Plan Unit Development.
3. Hours of operation shall be limited to: Monday – Saturday: 10:00am-11:00pm and Sunday: 10:00am-9:00pm.
4. Department of Public Works Conditions:
  - a. A grease trap should be installed for food serving uses.
  - b. Provide televising video showing Sanitary sewer lateral from basement to the main. The lateral needs to be reviewed for structural integrity and potential infiltration. The Village staff or designated representative will review the sewer lateral video and check if the lateral condition is adequate or needs rehabilitation. If the work cannot be completed prior to issuance of permit or occupancy, then posting a \$5,000 financial guarantee is acceptable to allow applicant to proceed. This includes costs for televising and potential work on sewer lateral.
  - c. Schedule and conduct appointment with the Water Utility Department staff to identify the water service pipe material prior to issuance of permit. If service material is lead, the Applicant will be required to replace the water service from building to the curb stop. The phone number for the Water Utility is 262-200-7506.
5. This approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission.
6. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission, Village Engineer, Department of Public Works and Village Planner for the site plan, and other documentation.
7. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any

particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.

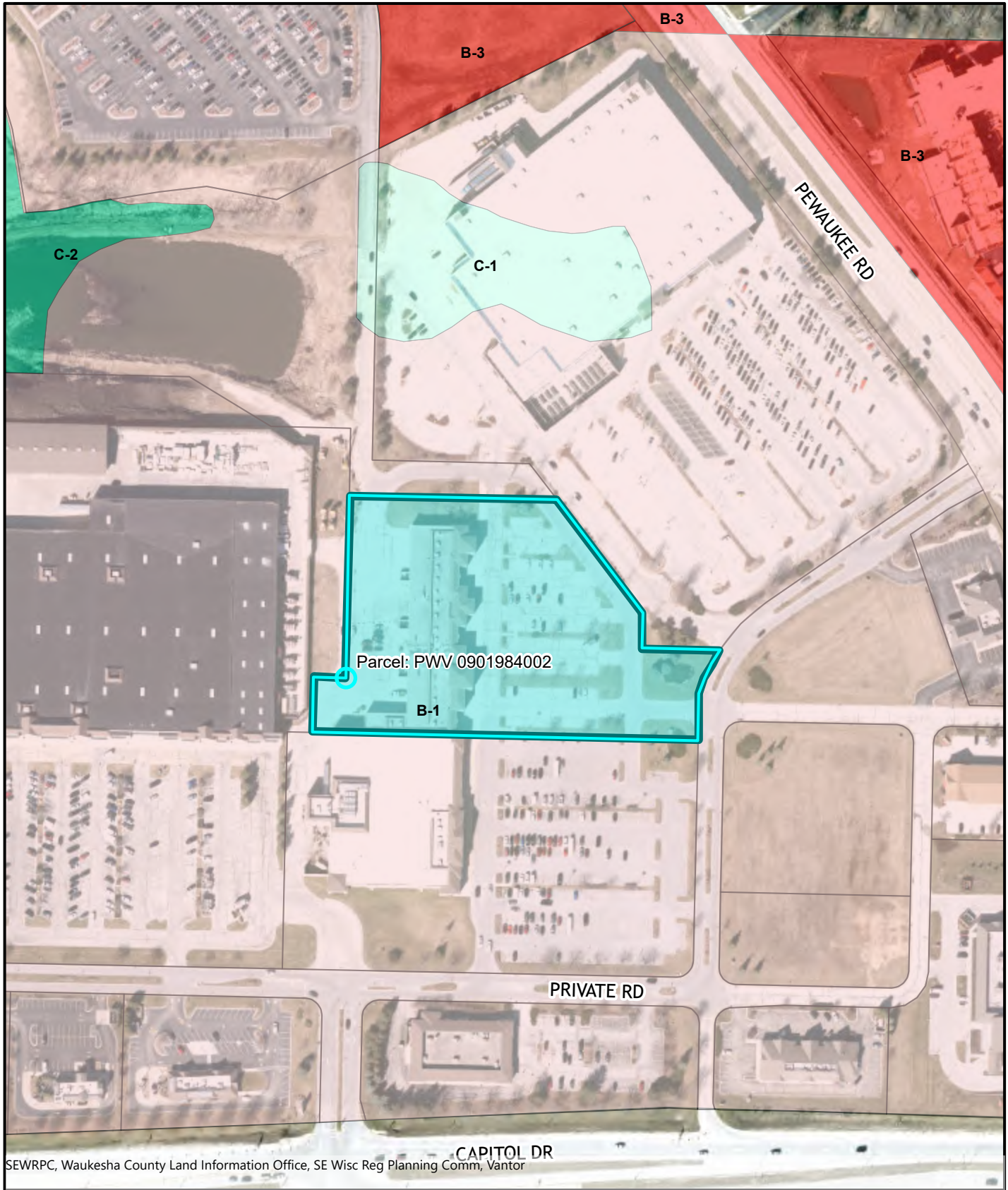
8. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new conditional use approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
9. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
10. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
11. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

**EXHIBIT:**

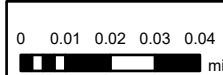
- A. GIS Property Location Map
- B. Petitioner Application
- C. Supplemental Documentation



# 1405 Capitol Drive Zoning Map



SEWRPC, Waukesha County Land Information Office, SE Wisc Reg Planning Comm, Vantor



1" = 221'  
1:2,652

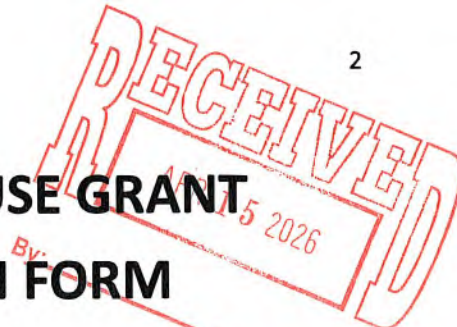
Village of Pewaukee  
 235 Hickory Street  
 Pewaukee, WI 53072  
 262-691-5660

Notes  
 None

DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



# CONDITIONAL USE GRANT APPLICATION FORM



235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukeewi.gov— 262-691-5660

### PROPERTY / PROPERTY OWNER INFORMATION

Property Address: 1405 Capitol Drive, Pewaukee, WI Tax Key: PWV 39-1954276

Property Owner Name: Jim Forester Chestnut Limited Partnership Zoning of Property: A2

### APPLICANT INFORMATION

Applicant Name: Fore Seasons WI LLC Applicant Phone #: 262-844-3608

Applicant Address: N64W27366 MAPLE ST., SUSSEX, WI, 53089 Applicant Email: foreseasonswi@gmail.com

Applicant Email: foreseasonswi@gmail.com

### DESCRIPTION OF REQUEST (Please be thorough and attach additional pages if needed)

Business Name, If applicable: Fore Seasons LLC

FEIN, if applicable: 39-4532598

Description of Proposed Use (Restaurant/Retail/Office) Golf Simulator

### DIRECTIONS / NOTES—See page 4 for specific items required

NOTE: As this is for consultative purposes only, an engineering review will not take place at this time. An engineering review will take place if/when a formal application for approval is submitted.

Please include the following required items with this application:

- 1. One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less. Also provide one full size scale copy if larger than 11x17.
- 2. One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email)
- 3. Completed Professional Services Reimbursement Form
- 4. Signatures on page 3
- 5. Conditional Use for Restaurant/Night Club must be attached if applicable

For Office Use Only

Staff Initials: am

Date/Time Received: 4/15/20 10:43 AM

**Provide detailed information with your application that addresses the following:**

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate your application such as architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, site grading and drainage, exterior lighting, dumpster location and screening, outside storage of any sort, and manner of control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & ensure general compatibility of the proposed use within its surroundings.
2. It is the responsibility of the applicant/owner to ensure that the proposed project complies with the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted [Land Use Plan](#) to ensure a proper understanding of the Village's future vision for the area in question.

*Chestnut Limited Partnership*

*Chestnut Limited Partnership*

*Cirrus, Inc. General Partner*

*by Jason J. Foster*

**Property Owner Printed Name**

**Signature of Property Owner**

*V.P. of Cirrus, Inc.  
General Partner*

The application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

*Suzanne Mente*

*[Handwritten Signature]*

**Applicant's Printed Name**

**Signature of Applicant**

Return the completed application forms along with the required attachments, **\$190** application fee, and a digital copy of the submittal (plus paper copies if required) to Pewaukee Village Hall, 235 Hickory Street, Pewaukee, WI 53072.

If you have any questions, please call Village Hall at (262) 691-5660.

See [the municipal code regarding site structure design criteria for the commercial, industrial, park, institutional, and multi-family residential developments](#) for a complete listing of plan requirements. Additional plan details may be required on a case-by-case basis if the Village's review staff or the Planning Commission finds such information is necessary to complete a full and proper project review.

#### **DETAILED SITE PLAN**

engineering scale	floodplain and/or wetland boundary
Location/vicinity map	sign location (may require additional approval)
north arrow	exterior light locations
footprint of dimensioned property lines	phasing lines
existing & proposed buildings	floor area ratio
footprint of existing adjacent buildings	open space ratio
driveway location	site acreage
parking stalls	sidewalks/pedestrian walkways
adjacent public streets	dumpster/recycling area location
easements	ground HVAC and/or utility installations
setback & offset dimensions	fence location
pond/detention location	such other details as may be determined necessary

#### **DETAILED ARCHITECTURAL PLAN**

architectural scale	dimensioned building façade sign
all building views/elevations w/scale	exterior utility boxes
detailed materials specifications	
building height dimension	exposed HVAC equipment
general floor plan with dimensions	dumpster/recycling area location and screening
	samples of building materials (for presentation to Planning Commission)
exterior building materials and colors	building mounted lighting fixtures
	such other details as may be determined necessary

#### **DETAILED LANDSCAPING PLAN**

existing and proposed two-foot contour lines at the local datum (floodplain property should be identified at USGS datum)
pond/detention location
stormwater and erosion control devices

#### **SIGNAGE PLAN**

scaled design drawing of freestanding and/or facade signs
sign specifications and color (wattage, material, dimensions)

#### **EXTERIOR LIGHTING**

light fixture design detail and specifications
iso footcandle lighting dispersion plan



# PROFESSIONAL SERVICES REIMBURSEMENT AGREEMENT

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukee.gov—262-691-5660

**PROPERTY INFORMATION**

Property Address: 1405 Capitol Drive, Pewaukee, WI Tax Key: PWV 39-1954276  
 Property Owner's Name: Jim Forester Phone Number: 262-790-8888

**RESPONSIBLE PARTY INFORMATION - All invoices will be mailed to this address.**

Business Name: Fore Seasons LLC FEIN: 39-4532598  
 Person Responsible for Payment / Business Contact Name: Peter Schumacher  
 Mailing Address: W229N1870 Westwood Drive, Waukesha, WI.  
 Responsible Party / Contact Phone Number: 262-832-4029  
 Responsible Party / Contact Email Address: pschumacher@duffekconstruction.com

**AGREEMENT / SIGNATURES - Property Owner signature is required.**

Pursuant to the Village of Pewaukee [Code of Ordinances Sec 40.116\(b\)](#), the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff or other expert consultants are retained by the Village in order to complete a proper project review results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Treasurer shall charge those service fees incurred by the Village to the applicant/property owner. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

By signing this form, I, the undersigned, have been advised that pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner, or any other Village professional staff or other expert consultants retained by the Village in order to complete a proper project review provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

**The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.**

Property Owner Signature: *[Signature]* Printed Name: Chestnut Limited Partnership Date: \_\_\_\_\_  
Chris, Jr. Gen'l. Partner

Applicant Signature: *[Signature]* Printed Name: Jillanne Leute Date: 4/13/24

**For Office Use Only** Staff Initials: \_\_\_\_\_ Date Received: \_\_\_\_\_

Fore Seasons WI LLC  
N64 W27366 Maple St.  
Sussex, WI 53089

Attn: Village of Pewaukee  
Subject: Conditional Use Grant Application

To Whom it May Concern,

This cover letter is written with the intent of providing further details on our proposed build-out at 1405 Capitol Dr. in Pewaukee, WI. We are excited to take the (4) tenant suites in this development and turn it into a fun destination for golfers of all levels in the Pewaukee area. The tenant spaces that we are proposing to build-out are currently vacant. Our project entails underground MEPs to accommodate the bathrooms, bar area, and prep kitchen for light snacks. Further, we will be pouring a new slab on grade, an office, and (7) simulator bays. The simulator bays will be a large majority of our business with the bar offering refreshments and prep kitchen offering light snacks.

Please find our business plan of operation attached to this cover letter that includes further information on the operational use and details on the existing building. Further, we included Exhibit A-1 and Exhibit B, which were inclusions in our lease documentation. These provide additional details on the development that we will be moving into. Finally, we have an 11x17 copy of our plans included per the application instructions.

We look forward to continuing with the project and eventually seeing you at Bilek Golf Simulator.

Respectfully,  
Fore Seasons WI LLC.



# Business Plan of Operation Application

235 Hickory St, Pewaukee WI 53072- villagehall@villageofpewaukee.gov—262-691-5660

Office use only:

Zoning Admin Approval: \_\_\_\_\_ Date \_\_\_\_\_

Planner Approval: \_\_\_\_\_ Date \_\_\_\_\_

## BUSINESS & PROPERTY

Tax Key No. PWV 0901.984002 FEIN#: 39-1954276  
 Business Name: Chestnut Limited Partnership Current Zoning: A-2  
 Business Address: 1405 Capitol Dr, Pewaukee, WI 53072  
 Mailing Address: 3190 Gateway Drive, Brookfield, WI 53045  
 Email: jim@forester.com Phone: 262-790-8888

## TENANT INFORMATION

Tenant Name: Fore Seasons LLC FEIN#: 39-4532598  
 Mailing Address: N64W27366 Maple St Sussex WI 53089 Email: ForeSeasonsWI@gmail.com

List any Special Equipment/Facilities/Requirements we need to know about:

# Golf Simulators

## BUSINESS INFORMATION

Description of Business: Golf Simulator  
 Type of business:  Retail  Office  Warehouse/Storage  Industrial  Institutional  Wholesale  Other \_\_\_\_\_  
 New Use?  YES  NO or Expanded Use?  YES  NO Operation Days and Hours: M-Th 10-10, Fr and Sa 10-11 Sun 10-9  
 Maximum Number of Employees: Full-time 0 Part-time 5  
 Expected Customers per Day: 75 Delivery Trucks per day: 1 Vehicles per day: 40  
 Available Parking Spaces: 100 Loading Spaces: 2 Overnight Parking:  YES  NO  
 Outdoor Storage:  YES  NO - If yes, list type: \_\_\_\_\_  
 Sewage Disposal: Public Sewer  Septic Tank / Storm Water Retention/Detention?  YES  NO  
 Water Supply by:  Public Water  Main  Private Well  Other \_\_\_\_\_  
 Solid Waste  (garbage) Disposal by: \_\_\_\_\_  
 List Where any Flammable Substances are stored: N/A

## Applicant and Property Owner Signature

PETE SCHUMACHER & Chestnut LP  
 Applicant Signature & Print Name Owner Signature & Print Name Date 4-6-26

Send to Building Services \_\_\_\_\_ Send to Clerk \_\_\_\_\_ Save to Property File \_\_\_\_\_

Commercial & Industrial businesses are required to fill out the below form. The discharge produced must comply with all conditions of the [City of Brookfield Municipal Code Chapter 13.20](#) at [www.cityofbrookfield.com](http://www.cityofbrookfield.com)

### Notice of Intent to Discharge Wastewater

Business Name: Fore Seasons  
Business Address: 1405 Capitol Dr, Pewaukee, WI 53072  
Mailing Address: N64W27366 Maple St Sussex WI 53089  
Company Representative: Julianne Monte Title: Owner  
Phone: 2628443608 Email: Foreseasonswi@gmail.com

**Description of business:**

# Golf Simulator

Number of Employees: Full-time 0 Part-time 5

Operation Days and Hours: M-Th 10-11 Fri and Sa 10-11 Sun 10-9 # of Shifts: 2

SIC OR NAICS CODE: \_\_\_\_\_

**Reason for filing survery:**

- Change of occupancy
- Construction of a new facility
- Proposing to discharge from a facility where there is currently no discharge or adding a new sewer connection
- Significantly Altering the volume or characteristics of an existing discharge
- Applying fo reissuance of an existing discharge permit
- Per request by municipality—discharge ongoing with no expected changes
- Update previous information

Date when new or altered discharge is expected to begin \_\_\_\_\_

**Estimated sanitary sewer discharge (report gallons/day):**

	Current:	Proposed:
Process wastewater	_____	_____
Sanitary wastewater	_____	_____
Cooling water	_____	_____

- Note: A review of quarterly water usage bills may be helpful in assigning flow values. Total gal/day (for all uses) = qtr usage (in 1000 gallons) x 1000/# operating days in qtr. This daily total is then distributed into estimated gal/day of process, sanitary, and/or cooling. Process wastewater is any discharge other than sanitary, non-contact cooling or boiler blowdown water. Sanitary flow may be estimated as 20 gal/day/employee.

Use this space to describe the process that will result in the discharge of commercial/industrial process wastewater:

N/A

List chemicals/pollutants expected to be present in your discharge:

N/A

Describe any wastewater pretreatment and/or facilities to be used:

N/A

List toxic organic compounds (solvents, flammable compounds etc):


N/A

How are these toxic organic compounds disposed of:

N/A

**Agreement to Abide**

I Certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

  
\_\_\_\_\_  
Authorized Representative Signature

4/15/26  
\_\_\_\_\_  
Date

PETER SCHUMACHER  
\_\_\_\_\_  
Printed Name

Comments:

Staff comments:



**Exhibit B**



PROJECT :

**BILEK GOLF SIMULATOR**

1405 CAPITOL DRIVE SUITE B-E  
PEWAUKEE WISCONSIN

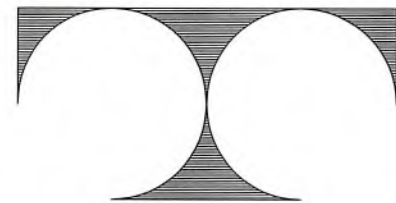
GENERAL CONTRACTOR :



**DUFFEK CONSTRUCTION**

W229 N1870 WESTWOOD DRIVE  
WAUKESHA, WI 53186  
TEL: (262)-523-6883

ARCHITECT :



**TDI ASSOCIATES, INC.**

ARCHITECTURE & PLANNING  
25217 SOUTH WIND LAKE ROAD  
WIND LAKE, WISCONSIN 53185  
TEL: (262) 409-2530



02.09.2026

REVISION DATE DRAWING INDEX :

T10	TITLE SHEET
T11	LIFE SAFETY PLAN & ACCESSIBLE MOUNTING DIAGRAM
A11	SITE PLAN, DEMO PLAN & DETAILS
A12	FLOOR PLAN

**BUILDING DATA : 2021 IEBC WITH WISCONSIN MODIFICATIONS**

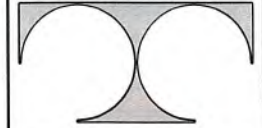
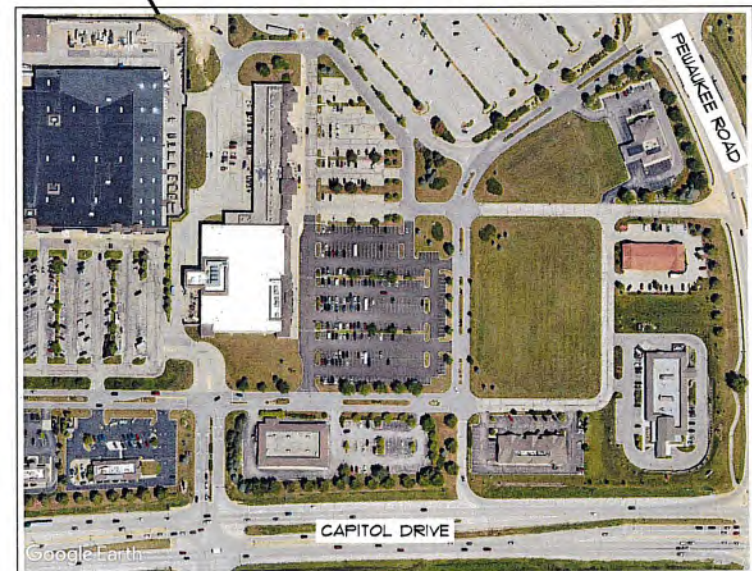
PROPOSED OCCUPANCY:	SEPERATED GROUP A-3, GOLF SIMULATOR																		
CONSTRUCTION TYPE:	TYPE IIB ONE STORY																		
SPRINKLERS:	FULLY SPRINKLED NFPA-13																		
ALTERATION AREA:	6,300 SQ. FT.																		
RATINGS REQUIRED:	<table border="0"> <tr><td>OCCUPANCY SEPARATION</td><td>none per IBC 508.3</td></tr> <tr><td>STRUCTURAL FRAMING</td><td>0 HOUR RATING N.C.</td></tr> <tr><td>BEARING WALL EXTERIOR</td><td>0 HOUR RATING N.C.</td></tr> <tr><td>BEARING WALL INTERIOR</td><td>0 HOUR RATING N.C.</td></tr> <tr><td>NON BEARING EXTERIOR (30')</td><td>0 HOUR RATING N.C.</td></tr> <tr><td>NON BEARING INTERIOR</td><td>0 HOUR RATING N.C.</td></tr> <tr><td>FLOOR CONSTRUCTION</td><td>0 HOUR RATING N.C.</td></tr> <tr><td>ROOF CONSTRUCTION</td><td>CLASS - B N.C.</td></tr> <tr><td>FIRE BARRIERS - SHAFT</td><td>1 HOUR RATING N.C.</td></tr> </table>	OCCUPANCY SEPARATION	none per IBC 508.3	STRUCTURAL FRAMING	0 HOUR RATING N.C.	BEARING WALL EXTERIOR	0 HOUR RATING N.C.	BEARING WALL INTERIOR	0 HOUR RATING N.C.	NON BEARING EXTERIOR (30')	0 HOUR RATING N.C.	NON BEARING INTERIOR	0 HOUR RATING N.C.	FLOOR CONSTRUCTION	0 HOUR RATING N.C.	ROOF CONSTRUCTION	CLASS - B N.C.	FIRE BARRIERS - SHAFT	1 HOUR RATING N.C.
OCCUPANCY SEPARATION	none per IBC 508.3																		
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FLOOR CONSTRUCTION	0 HOUR RATING N.C.																		
ROOF CONSTRUCTION	CLASS - B N.C.																		
FIRE BARRIERS - SHAFT	1 HOUR RATING N.C.																		
SPECIAL INSPECTIONS	NOT REQUIRED 1704.2 EXCEPTION #1. SPECIAL INSPECTIONS AND TEST ARE NOT REQUIRED FOR CONSTRUCTION OF A MINOR NATURE OR AS WARRANTED BY CONDITIONS IN THE JURISDICTION AS APPROVED BY THE BUILDING OFFICIAL.																		

**GENERAL NOTES:**

- THE ARCHITECT/ENGINEER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, FOR THE METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
- CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWING NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS, FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES INCLUDING EXCAVATION, SHORING AND SCAFFOLDING, BRACING, ERECTION FORMWORK, ETC.) FOR COORDINATION OF THE VARIOUS TRADES, FOR SAFE CONDITIONS ON THE JOB SITE, AND FOR THE PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
- VARIATIONS IN FIELD CONDITIONS RELATIVE TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER WORK SHALL NOT PROGRESS UNTIL WRITTEN PERMISSION FROM THE ARCHITECT/ENGINEER IS OBTAINED.
- THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
- ARCHITECT/ENGINEER'S REVIEW OF DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC. ARE ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT. CONSTRUCTION SHALL NOT START WITHOUT SAID REVIEW, AND ONLY SHOP DRAWINGS STAMPED BY THE ARCHITECT/ENGINEER WILL BE ALLOWED AT THE JOB SITE.
- DRAWINGS ARE NOT TO BE USED FOR SHOP DETAILING OR FOR CONSTRUCTION UNLESS SPECIFICALLY STAMPED BY THE ARCHITECT/ENGINEER ON THE DRAWINGS "FOR CONSTRUCTION". THESE DRAWINGS ARE TO BE REPRODUCED FOR THE PURPOSE OF USING THEM AS SHOP DRAWINGS.
- UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
- ALL DIMENSIONS ON SUB-CONTRACTORS DRAWINGS ARE TO BE CHECKED BY THE CONTRACTOR AGAINST ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND TRADES.
- SEE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS, SLEEVES, EQUIPMENT PADS, DEPRESSIONS, CURBS, FLOOR FINISHES, INSERTS, AND OTHER EMBEDDED ITEMS.
- UNLESS OTHERWISE SHOWN OR NOTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY INSERTS, HANGARS, PIPE SLEEVES, HOLES OR ANCHORS BOLTS THAT ARE REQUIRED BY THE MECHANICAL OR ELECTRICAL EQUIPMENT.
- THE CONTRACTOR SHALL COMPLY WITH THE LATEST OCCUPATIONAL SAFETY HEALTH ACT REQUIREMENTS.
- ALL CONSTRUCTION SHALL BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.

**PLAN CONDITIONALLY APPROVED**  
 No Variation of this Plan is Permitted without the Approval of E-Plan Exam and the Municipal Building Inspection Department. See Plan Review Letter and/or Permit for additional conditions that must be addressed during construction prior to inspection.  
 Review Type: Building & Structure Review Only  
 Approved By: [Signature] Date: 03/02/2026

**PROJECT LOCATION:**



**TDI ASSOCIATES, INC.**  
ARCHITECTURE & PLANNING

25217 SOUTH WIND LAKE ROAD  
WIND LAKE, WISCONSIN 53185  
PHONE 262-409-2530

**BILEK GOLF SIMULATOR**  
1405 CAPITOL DR SUITE B-E  
PEWAUKEE, WISCONSIN

TDI ASSOCIATES, INC  
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Sheet Title  
**TITLE SHEET**

Issued For: \_\_\_\_\_ Date: \_\_\_\_\_

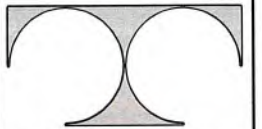
Date: **02-18-2026**

Job NO.: **25152.000**

Drawn By: **HAC**

Sheet No.

**T1.0**



TDI ASSOCIATES, INC.  
ARCHITECTURE & PLANNING

25217 SOUTH WIND LAKE ROAD  
WIND LAKE, WISCONSIN 53185  
PHONE 262-409-2530

BILEK GOLF SIMULATOR

1405 CAPITOL DR SUITE B-E  
PENAUCHEE, WISCONSIN

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Sheet Title  
LIFE SAFETY PLAN &  
ACCESSIBLE MOUNTING DIAG.

Issued For: Date:

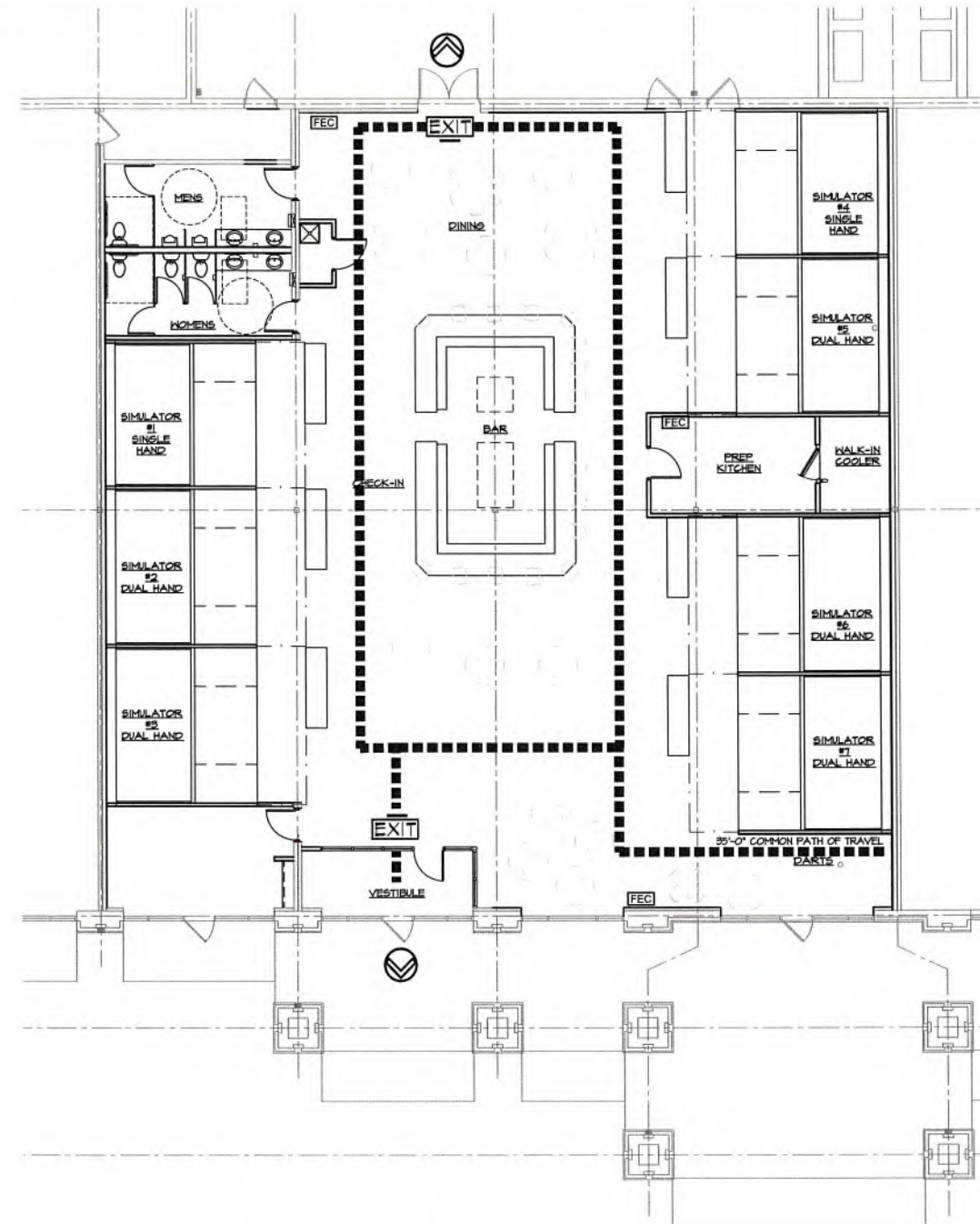
Date: 02-18-2026

Job NO.: 25152.000

Drawn By: R.J.H

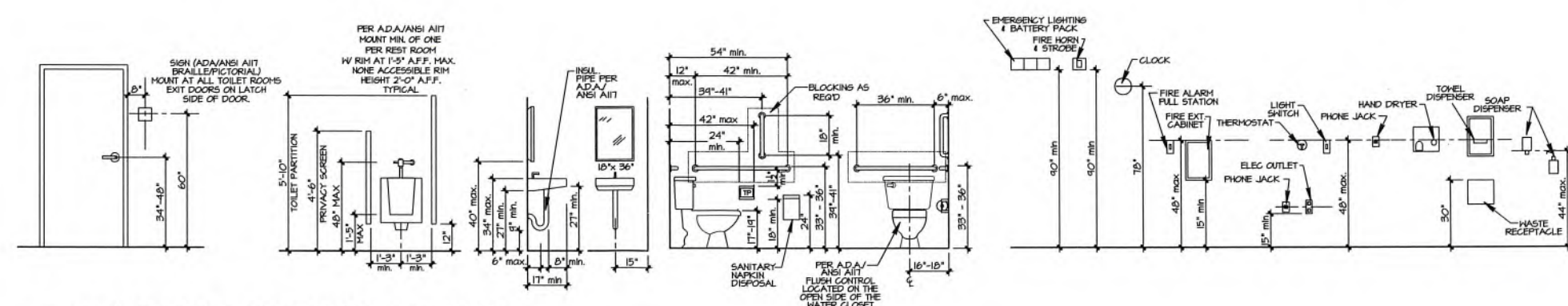
Sheet No.

T1.1



**PLAN CONDITIONALLY APPROVED**  
No Variation of this Plan is Permitted without the Approval of E-Plan Exam and the Municipal Building Inspection Department. See Plan Review Letter and/or Permit for additional conditions that must be addressed during construction prior to inspection.  
Review Type: Building & Structure Review Only.  
Approved By: *[Signature]* Date: 03/02/2026

1 FIRST FLOOR LIFE SAFETY PLAN  
1/8" = 1'-0"



2 STANDARD MOUNTING HEIGHTS  
N.T.S.



**TDI ASSOCIATES, INC.**  
ARCHITECTURE & PLANNING

25217 SOUTH WIND LAKE ROAD  
WIND LAKE, WISCONSIN 53185  
PHONE 262-409-2530

**BILEK GOLF SIMULATOR**

1405 CAPITOL DR SUITE B-E  
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Sheet Title  
**FLOOR PLAN**

Issued For: \_\_\_\_\_ Date: \_\_\_\_\_

Date: **02-18-2026**

Job NO.: **25152.000**

Drawn By: **RJH**

Sheet No.

**A1.2**

**GENERAL NOTES**

- G.C. RESPONSIBLE FOR SAW CUTTING EXISTING CONC. FLOOR & VERIFY SIZE & LOCATION FOR PLUMBING, PATCH AND REPAIR CONC. FLOOR TO MATCH EXISTING.
- 8'-0" CEILING HEIGHT FOR TOILET ROOMS AND JANITOR CLOSET
- INSTALL H.C. TOILET SIGNAGE
- TENANT TO GET DRINKING WATER FROM SINK OTHER THAN RESTROOM OR PROVIDE BOTTLED WATER

**DOOR NOTES**

- ALL NEW DOOR HARDWARE SETS SHALL HAVE LEVER HANDLES UNLESS OTHERWISE NOTED, MATCH EXISTING FINISH
- ALL DOORS ARE TO BE 3'-0" x 7'-0" UNLESS NOTED
- OCCUPANCY SIGNAGE LOCATED @ MAIN ENTRANCE "MAXIMUM ROOM CAPACITY 184 PERSONS"

**TOILET ROOM FINISHES**

CEILING: VINYL FACED AGT. TILE  
WALLS: MOISTURE RESISTANT DRYWALL  
FLOOR: SHEET VINYL OR CERAMIC TILE  
BASE: 6" HIGH VINYL OR CERAMIC TILE

**WALL TYPES**

TYPICAL HALLS 3 5/8" METAL STUD WALL W/ 5/8" 6/H.B. EACH SIDE. HEIGHT OF HALL TO MATCH GOLF SIMULATORS HALLS

RESTROOM HALLS 3 5/8" METAL STUD WALL W/ 5/8" 6/H.B. EACH SIDE. USE MOISTURE RESISTANT 6/H.B. ON TOILET ROOM SIDE & 3 1/2" SOUND BATT INSULATION @ ALL TOILET ROOM HALLS. HEIGHT OF HALL TO MATCH GOLF SIMULATORS HALLS

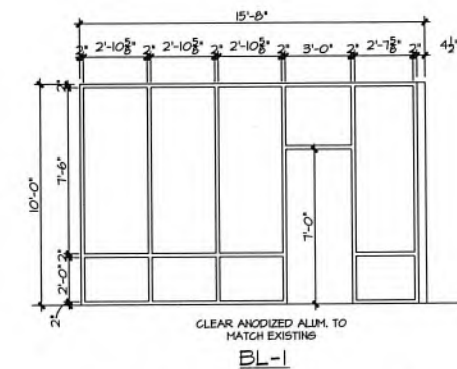
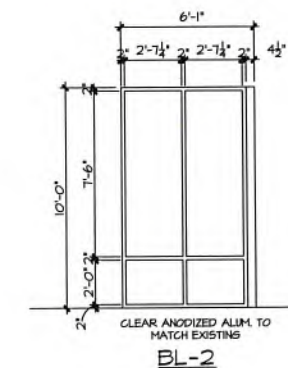
GOLF SIMULATOR BY OTHER HALL / FRAME CONSTRUCTION SHALL BE NONCOMBUSTIBLE STUDS FIRE TREATED PLYWOOD SHEATHING IS ACCEPTABLE PER 2021 IBC SECTION 603.1

**SIMULATOR NOTES:**

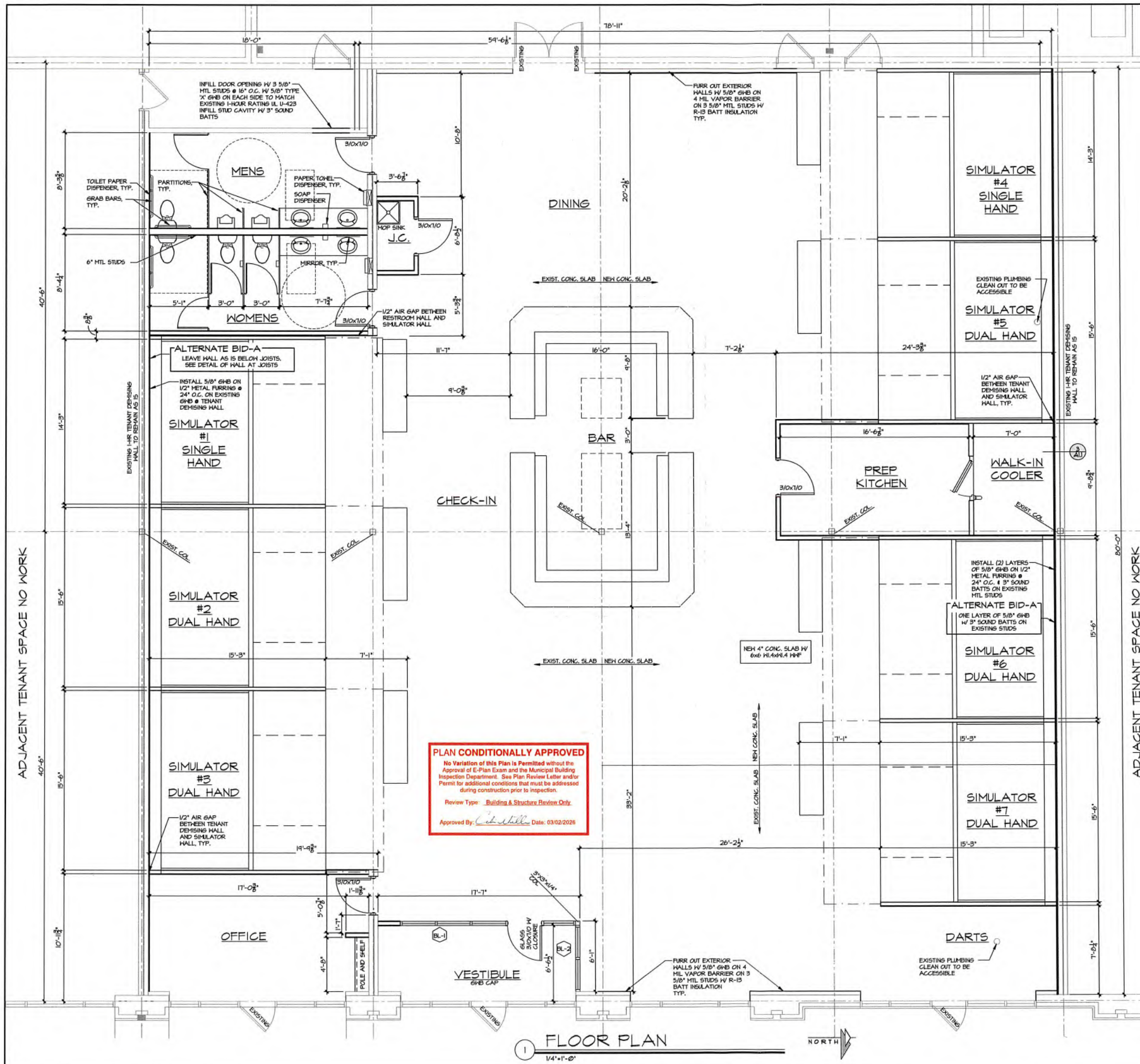
DESIGN OF GOLF SIMULATOR IS BY OTHERS. G.C. TO COORDINATE.

**DIMENSION NOTES:**

NEH HALLS & SIMULATORS ARE DIMENSIONED TO STUDS



**BORROWED LITES**  
1/4" = 1'-0"



**PLAN CONDITIONALLY APPROVED**  
No Variation of this Plan is Permitted without the Approval of E-Plan Exam and the Municipal Building Inspection Department. See Plan Review Letter and/or Permit for additional conditions that must be addressed during construction prior to inspection.  
Review Type: **Building & Structure Review Only.**  
Approved By: *[Signature]* Date: **03/02/2026**

ADJACENT TENANT SPACE NO WORK

ADJACENT TENANT SPACE NO WORK

TO: Village of Pewaukee Plan Commission  
CC: Matt Heiser – Village Administrator, Jenna Peter - Clerk  
FROM: Mark Lyons, Planning Consultant  
RPT DATE: September 3, 2025  
MTG DATE: September 11, 2025  
RE: 5c – Heartland Dental Business Site Plan Amendment

**BACKGROUND:**

1. Petitioner: Cole & Associates – Aaliyah Busch
2. Property Owner: Richard & Nancy Niedziela Revocable Trust
3. Location/Address: 135 Capitol Drive
4. Tax Key Number: PWV 0898987
5. Area: ~0.35 AC
6. Existing Zoning: B-2 Downtown Business District
7. Proposed Zoning: N/A

**OVERVIEW:**

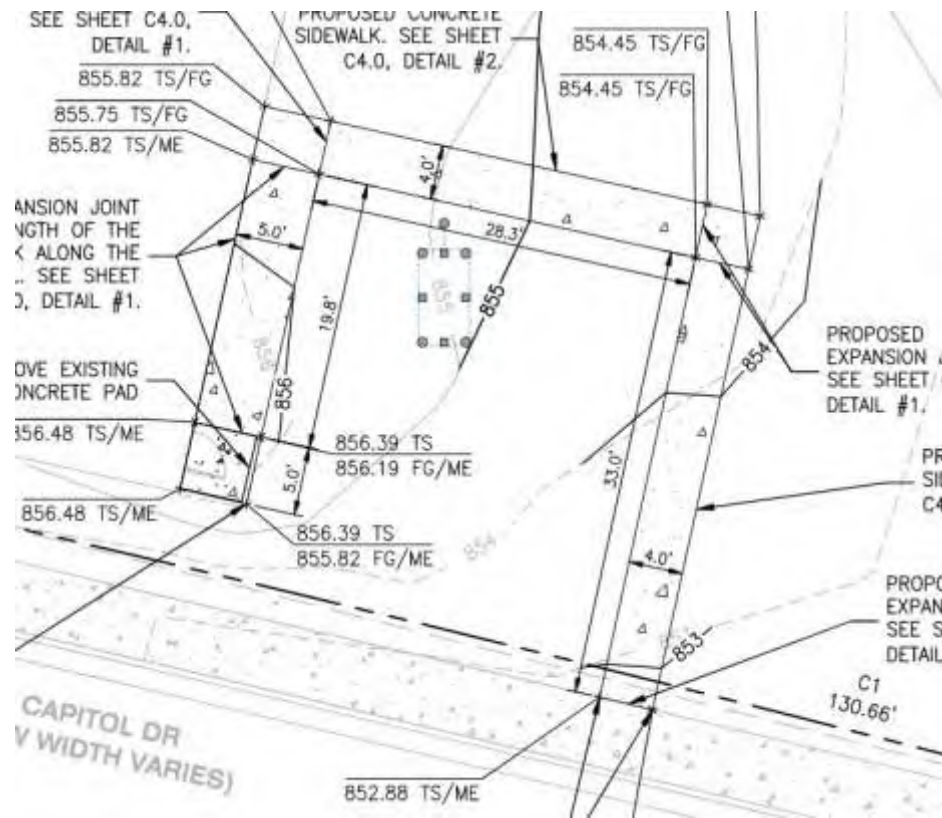
The Petitioners are requesting approval of a Business Site Plan amendment to add an ADA accessible sidewalk from a side exit door to the public sidewalk. No other exterior or interior changes are proposed as part of the request.

**SUBMITTAL:**

The enclosed submittal includes the application, GIS map and supplemental documentation.

**PLANNER COMMENTS:**

1. **Zoning Requirements:** Section 40.438 requires Plan Commission to approve site plans for commercial properties. There are no proposed changes to use of the property.
2. **Business Site Plan:** The applicant is proposing to add approximately 71' of ADA accessible sidewalk to east side of the structure. The sidewalk is proposed to meet the grading requirements necessary to be ADA compliant and provide an accessible entrance to the building.
3. **Plan of Operation:** No changes to the Business Plan of Operation are proposed at this time.



**ENGINEER COMMENTS:**

The Village engineer has reviewed the proposed plan and those comments are attached as part of this report.

**Department of Public Works Comments:**

The Department of Public Works has reviewed the proposed plan and offered the following recommendations:

1. Label name of Engineering firm with address and phone number on drawing.
2. In public right of way, there are some existing issues with the concrete sidewalk.
  - a. Per Village Ordinance the maintenance, removal, and replacement of public concrete sidewalk is the responsibility of the adjoining property owner. Any sidewalk panels with cracks, spalling or missing pieces or misaligned panels must be removed and replaced by adjoining property owner. Based on initial review, there are two (2) cracked concrete sidewalk panels that need replacement at the west lot line. Village Engineering staff or designated representative can mark panels if desired. These panels should be shown for replacement on drawing for review and approval. A right of way permit is needed to remove or replace sidewalk and to follow Village sidewalk specification. The location of the two (2) cracked panels is located in a driveway approach with existing Non-ADA compliant sidewalk which means that the cross-slope is over 2%. The replacement of the non-compliant ADA panels will cause approximately 4 more panels to be needing replacement across the west driveway approach.

- b. On east side of building, you are proposing new private sidewalk that connects to existing public concrete sidewalk which is also an unused driveway approach. Unused driveway approaches are typically removed because that cross slope is not ADA compliant being over 2%. This easterly driveway approach includes approximately 6 concrete panels which should be removed and replaced. If sidewalk is replaced, then the concrete driveway curb and gutter should be removed and replaced in this area with vertical face curb and gutter. The length is approximately 33 feet.
3. Show all existing utilities on the lot to verify conflicts.
  - a. Verify location of your existing sanitary sewer lateral and show on drawing. The location of the existing sanitary sewer lateral will be also added to Village Geographic Information System (GIS).
  - b. The proposed sidewalk may be located over an existing public water main pipe and possibly an existing storm sewer pipe. A clip is attached showing the Village's records of the two pipes. Based on review of Village mapping, it appears that a public water main exists on the subject lot. If water main easement exists on lot, show on drawing. You may need to review your existing title policy.

**STAFF RECOMMENDATION:**

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

The Village of Pewaukee Plan Commission **Approves** the Business Site Plan Amendment Request for Heartland Dental for the property located at **135 Capitol Drive**, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of May 14, 2026 are met.
2. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission and Board, Village Engineer and Village Planner for the site plan, and other documentation.
3. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
4. Fire Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village of Pewaukee Fire Department Chief (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village of Pewaukee Fire Department Chief (or designee), if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of fire safety of any structure on the property, or as proof of compliance with any particular fire safety standard that would apply to new construction. The petitioner shall independently determine the fire safety and suitability of all structures on the property for the petitioner's intended uses.
5. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Business Site Plan approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.

6. The Property Owner shall keep the exterior condition of the premises in a neat and orderly condition at all times so the premises will not detract from neighboring premises. There shall be no outside storage of junk, debris, construction material, or other refuse materials within the property and all such materials shall be disposed of promptly and properly.
7. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
8. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
9. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

**EXHIBIT:**

- A. GIS Property Location Map
- B. Petitioner Application.
- C. Supplemental documents.



CREATIVITY BEYOND ENGINEERING

**DATE:** May 5, 2026

**TO:** Village of Pewaukee Plan Commission

**FR:** Jake Scholbe, P.E. – Village Consulting Engineer

**CC:** Matt Heiser – Village Administrator  
Jenna Peter - Village Clerk  
Mark Lyons – Village Planner  
Matt Gralinski – Village Attorney  
Dave Buechl – Director of Public Works/Engineer

**RE:** Heartland Dental Pewaukee - Site Plan Review  
135 Capitol Drive, Pewaukee, WI 53072

## **Report**

The applicant proposes to construct a new ADA-compliant sidewalk extending from an existing building exit door and connecting to the public sidewalk within the Village right-of-way. The project is located on tax parcel PWV 0898987. A complete set of civil engineering plans has been submitted for review.

Site Plan: The project includes construction of the proposed sidewalk and associated minor grading necessary to accommodate ADA requirements.

Access: Vehicular access to the site will remain unchanged. The proposed sidewalk will improve pedestrian circulation and provide ADA-compliant access to the building.

Site Grading and Drainage: Only minimal grading is required, and the existing drainage patterns of the site will not be altered. If constructed in accordance with the approved plans, the sidewalk will meet ADA standards.

Sanitary Sewer and Water: Construction is not anticipated to impact existing private sanitary or water utilities.

Stormwater Management: The project will result in approximately 405 square feet of additional impervious surface, with total site disturbance less than one acre. As such, stormwater management is not required.

Erosion Control: General erosion control notes are included in the plan set; however, perimeter erosion control measures should be clearly shown on the plans to minimize the potential for sediment runoff during construction.

## **Recommendation**

I recommend approval of the site civil plans (Sheets C1.0–C4.0), prepared by Cole and Associates and dated March 30, 2026, subject to staff satisfaction of the following comments:

### **General Comments**

1. Include contact information for the project engineer on the plan set to facilitate communication during construction.
2. Depict perimeter erosion control measures on the final plans to limit sediment runoff during construction.
3. Provide restoration details for all disturbed areas, including specifications for topsoil placement, seeding, erosion control matting, and other applicable restoration measures.

### **Sheet C2.0 – Notes Sheet**

4. Revise all references from the City of Pewaukee to the Village of Pewaukee throughout the plan notes.

### **Sheet C3.0 – Engineering Site Plan**

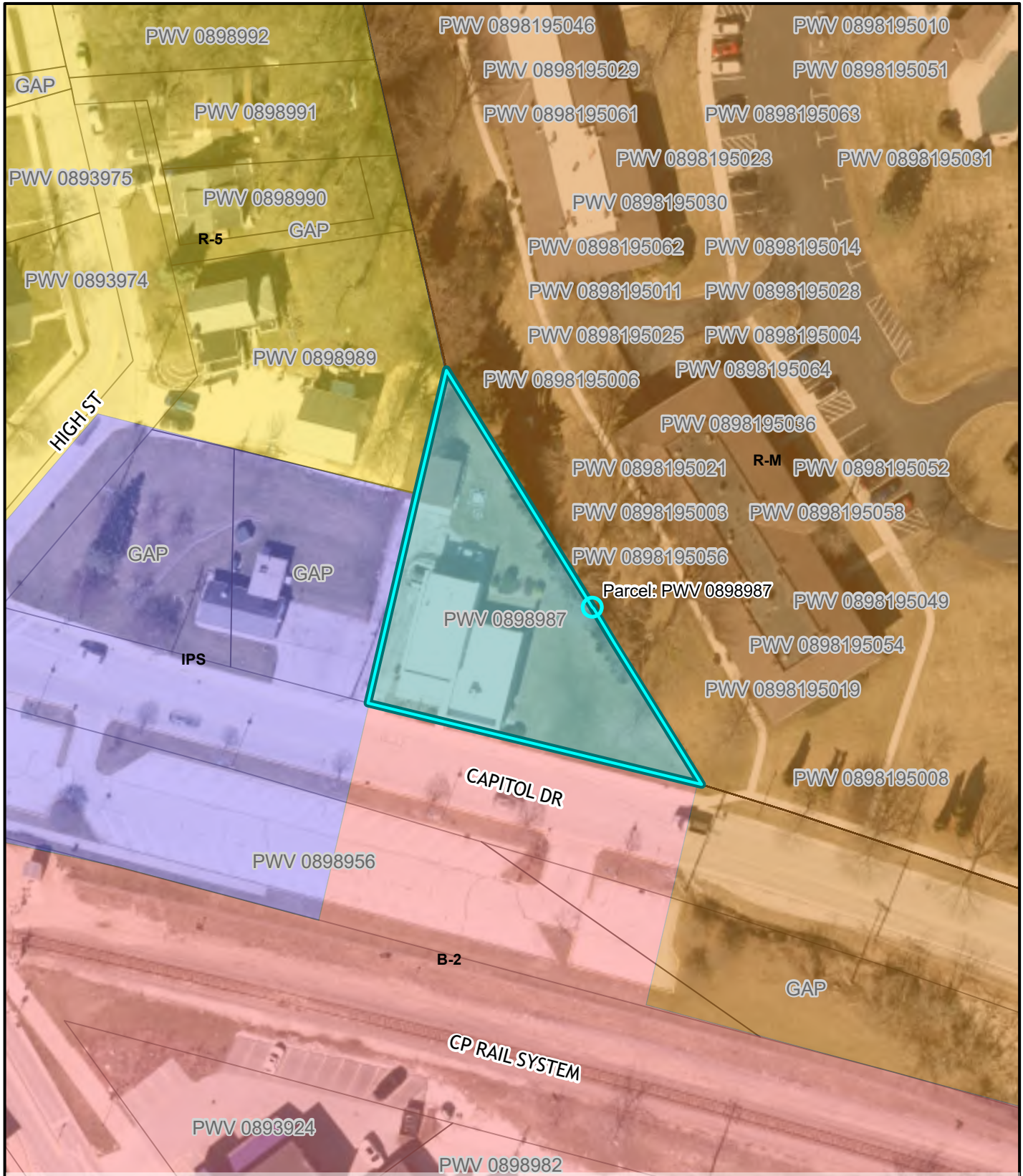
5. Add a proposed slope intercept to clearly define the proposed grading and restoration limits.

### **Sheet C4.0 – Detail Sheet**

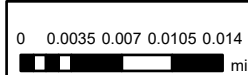
6. Provide additional information regarding the proposed aggregate base, including material type and stone size, for the sidewalk section.



# 135 Capitol Drive Zoning Map



SEWRPC, Waukesha County Land Information Office, SE Wisc Reg Planning Comm, Microsoft, Vantor



N  
1" = 69'  
1:824

Village of Pewaukee  
235 Hickory Street  
Pewaukee, WI 53072  
262-691-5660

Notes  
None

DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



# BUSINESS SITE PLAN APPLICATION FORM

235 Hickory St, Pewaukee WI 53072 - villagehall@villageofpewaukeewi.gov - (262) 691-5660

**PROPERTY / PROPERTY OWNER INFORMATION**

Property Address: 135 Capitol Drive Pewaukee, WI 53072 Tax Key: PWV 0898987

Property Owner Name: Richard & Nancy Niedziela Zoning of Property: B-2 Downtown Business

**APPLICANT INFORMATION**

Applicant Name: Aaliyah Busch Applicant Phone #: 6363547255

Applicant Address: 1520 S. 5th St., Suite 307 St Charles, MO 63303

Applicant Email: abusch@colestl.com

**DESCRIPTION OF REQUEST (Please be thorough and attach additional pages if needed)**

Business Name Corresponding to Site Plan: Heartland Dental

FEIN, if applicable: 20-4885930

Summary of Request (New Construction, Addition, Modification, etc.): Install new ADA accessible sidewalk from the side exit door of the building that will connect to the ROW.

**DIRECTIONS / NOTES—See page 4 for specific items required**

NOTE: As this is for consultative purposes only, an engineering review will not take place at this time. An engineering review will take place if/when a formal application for approval is submitted.

**Please** return Completed Application Forms along with the following:

- 1. One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less. Also provide one full size scale copy if larger than 11x17.
- 2. One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email)
- 3. Signatures on page 3
- 4. Completed Professional Services Reimbursement Form
- 5. Conditional Use for Restaurant/Night Club must be attached if applicable

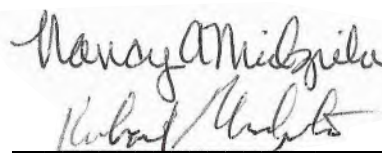
**For Office Use Only** Staff Initials: \_\_\_\_\_ Date/Time Received: \_\_\_\_\_

**Provide detailed information with your application that addresses the following:**

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate your application such as architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, site grading and drainage, exterior lighting, dumpster location and screening, outside storage of any sort, and manner of control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & ensure general compatibility of the proposed use within its surroundings.
2. It is the responsibility of the applicant/owner to ensure that the proposed project complies with the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted Land Use Plan to ensure a proper understanding of the Village's future vision for the area in question.
3. Signage shall be determined through a sign permit process and/or a sign plan approved by the Plan Commission. Permits for individual signs may be applied for with the Village's Code Compliance Officer.

Richard & Nancy Niedziela

**Property Owner Printed Name**



**Signature of Property Owner**

The application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

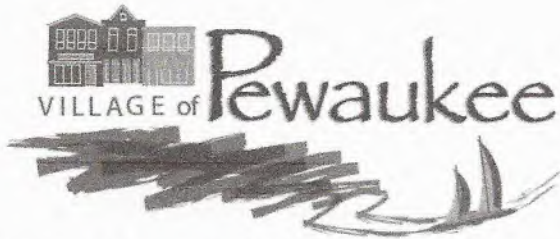
Aaliyah Busch, Project Coordinator  
Cole & Associates

**Applicant's Printed Name**



**Signature of Applicant**

If you have any questions, please call Village Hall at (262) 691-5660.



# PROFESSIONAL SERVICES REIMBURSEMENT AGREEMENT

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukee.gov—262-691-5660

**PROPERTY INFORMATION**

Property Address: 135 Capitol Drive, Pewaukee, WI 53072 Tax Key: PWV 0898987  
Property Owner's Name: RICHARD NIEDZIELA NANCY NIEDZIELA Phone Number: Nancy 262-366-1661, Richard 262-366-1659

**RESPONSIBLE PARTY INFORMATION - All invoices will be mailed to this address.**

Business Name: Heartland Dental FEIN: 20-4885930  
Person Responsible for Payment / Business Contact Name: Victoria Hughes  
Mailing Address: 1200 Network Centre Drive, Effingham, Illinois 62401  
Responsible Party / Contact Phone Number: 513-262-7113  
Responsible Party / Contact Email Address: victoriahughes32@heartland.com

**AGREEMENT / SIGNATURES - Property Owner signature is required.**

Pursuant to the Village of Pewaukee [Code of Ordinances Sec 40.116\(b\)](#), the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff or other expert consultants are retained by the Village in order to complete a proper project review results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Treasurer shall charge those service fees incurred by the Village to the applicant/property owner. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

By signing this form, I, the undersigned, have been advised that pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner, or any other Village professional staff or other expert consultants retained by the Village in order to complete a proper project review provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

**The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.**

Property Owner Signature: *Nancy Niedziela* Printed Name: NANCY ANIEDZIELA Date: 4-3-26  
*Richard Niedziela* Printed Name: Richard Niedziela Date: 4-3-26

Applicant Signature: *Aaliyah J. Busch* Printed Name: Aaliyah Busch Date: 04-02-2026

**For Office Use Only** Staff Initials: \_\_\_\_\_ Date Received: \_\_\_\_\_

# HEARTLAND DENTAL (PEWAUKEE)

ALL THAT PART OF THE NORTHWEST 1/4 OF SECTION 9, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE VILLAGE OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

## SITE IMPROVEMENT PLANS



### PERTINENT DATA

OWNER	=	HEARTLAND DENTAL
SITE ADDRESS	=	135 CAPITOL DR PEWAUKEE, WI 53072
SITE ACREAGE	=	0.77± ACRES
DISTURBED LAND	=	0.40± ACRES
EXISTING ZONING	=	"B-2" DOWNTOWN BUSINESS
PROPOSED ZONING	=	"B-2" DOWNTOWN BUSINESS
PARCEL ID	=	PMV-0898-987
WATERSHED	=	PEWAUKEE RIVER HUC 12-07120060103
FEMA MAP PANEL	=	55133C0184H, DATE: 10/19/2023

### INDEX

		REVISIONS								
		1	2	3	4	5	6	7	8	9
C1.0	COVER SHEET									
C2.0	NOTES SHEET									
C3.0	ENGINEERING SITE PLAN									
C4.0	DETAIL SHEET									

### LEGEND

EXISTING		PROPOSED	
	CONTOURS		(UIP)
	TREE LINE		(TBR)
	TREE		(ATG)
	BUSH		(TBR&R)
	STORM MANHOLE		(TYP)
	AREA INLET		N.T.S.
	CURB INLET		HP
	GRATED INLET		LP
	FLARED END SECTION		TW
	12" RCP STORM SEWER		BW
	8" VCP SANITARY SEWER		(NIC)
	CLEAN OUT		
	SANITARY DESIGNATOR		
	UTILITY POLE		
	GUIDE WIRE		
	OVERHEAD UTILITY		
	UNDERGROUND ELECTRIC		
	ELECTRIC MARKER		
	ELECTRIC METER		
	ELECTRIC BOX		
	ELECTRIC PULL BOX		
	ELECTRIC TRANSFORMER		
	ELECTRIC MANHOLE		
	UNDERGROUND TELEPHONE		
	FIBER OPTIC MARKER		
	CABLE MARKER		
	GAS LINE		
	GAS VALVE		
	GAS METER		
	GAS MARKER		
	WATER LINE		
	WATER VALVE		
	WATER METER		
	FIRE HYDRANT		
	SIGN		
	MAIL BOX		
	TEST HOLE		
	LIGHT STANDARD		
	FENCE		
	BOLLARD		
	RETAINING WALL		
	CONCRETE PAVEMENT		
	SILTATION FENCE		
	AIR CONDITIONER		
	FLAG POLE		
	MONITORING WELL		
	PARKING METER		
	PLANTER		
	SPRINKLER CONTROL BOX		
	SPRINKLER		
	SPRINKLER VALVE		
	TRAFFIC CONTROL BOX		
	TRAFFIC POLE		
	YARD LIGHT		
	GUARD RAIL		
	PROPERTY LINE		
	EASEMENT		
	SETBACK		
	INLET PROTECTION		
	WATTLE		
	CHECK DAM		
	USE IN PLACE		
	TO BE REMOVED		
	ADJUST TO GRADE		
	TO BE REMOVED & RELOCATED		
	TYPICAL		
	NOT TO SCALE		
	HIGH POINT IN GRADE		
	LOW POINT IN GRADE		
	TOP OF WALL		
	BOTTOM OF WALL		
	NOT IN CONTRACT		

UTILITY INFORMATION:  
UTILITIES SHOWN HAVE BEEN TAKEN FROM AVAILABLE SURVEYS, UTILITY COMPANY MAPS AND PHYSICAL PROPERTY INSPECTION. THE LOCATIONS AND FACILITIES SHALL BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE ADDITIONAL UTILITIES THAT HAVE NOT BEEN SHOWN ON THIS SURVEY. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



CALL 1-800-242-8511 (WISCONSIN ONE CALL) TO HAVE UTILITIES MARKED IN THE FIELD.

DEVELOPER/OWNER:  
**HEARTLAND DENTAL**  
1200 NETWORK CENTRE DRIVE  
EFFINGHAM, ILLINOIS 62401  
PHONE 618-262-7133



**HEARTLAND DENTAL**  
PEWAUKEE  
135 CAPITOL DR  
PEWAUKEE, WI 53072

COVER SHEET

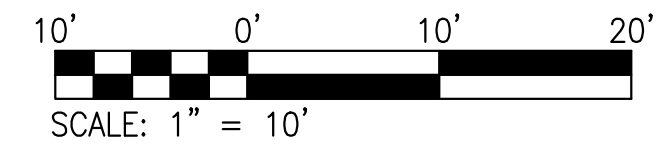
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DRAWN BY: CJK  
CHECKED BY: SKV  
DRAWING SCALE: AS SHOWN  
DATE: 03/30/2026

Job Number  
**26-0030**




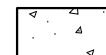
Sheet Number  
**C1.0**



USER: Camron Kohout, TAB: C3.0, ENGINEERING SITE PLAN  
 DATE: March 30, 2026 - 8:24:59 AM  
 DRAWING: S:\085\Job\2026\26-0030\CADD\Plan\PolSheet\0\_Plan\_Site\_26-0030.dwg



**HATCH LEGEND**

-  EXISTING ASPHALT PAVEMENT
-  EXISTING CONCRETE SIDEWALK
-  EXISTING RETAINING WALL
-  NEW CONCRETE SIDEWALK

**GRADING ABBREVIATIONS**

- FG FINISHED GRADE
- ME MATCH EXISTING
- TS TOP OF SIDEWALK



NO	REVISION DESCRIPTION	DATE

DEVELOPER/OWNER:  
**HEARTLAND DENTAL**  
**1200 NETWORK CENTRE DRIVE**  
**EFFINGHAM, ILLINOIS 62401**  
**PHONE 518-262-7133**

THE PROFESSIONAL, WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON, HAS REVIEWED THIS DRAWING FOR CONFORMANCE WITH THE PROFESSIONAL SEAL ACT AND HAS DETERMINED THAT THIS DRAWING CONFORMS TO THE REQUIREMENTS OF THE ACT. THE PROFESSIONAL IS NOT PROVIDING ANY WARRANTIES, REPRESENTATIONS, OR OTHER DOCUMENTS FOR INSTRUMENTS NOT SPECIFICALLY IDENTIFIED IN THIS DRAWING. THE PROFESSIONAL IS NOT PROVIDING ANY WARRANTIES, REPRESENTATIONS, OR OTHER DOCUMENTS FOR INSTRUMENTS NOT SPECIFICALLY IDENTIFIED IN THIS DRAWING. THE PROFESSIONAL IS NOT PROVIDING ANY WARRANTIES, REPRESENTATIONS, OR OTHER DOCUMENTS FOR INSTRUMENTS NOT SPECIFICALLY IDENTIFIED IN THIS DRAWING.



**HEARTLAND DENTAL**  
**PEWAUKEE**  
 135 CAPITOL DR  
 PEWAUKEE, WI 53072

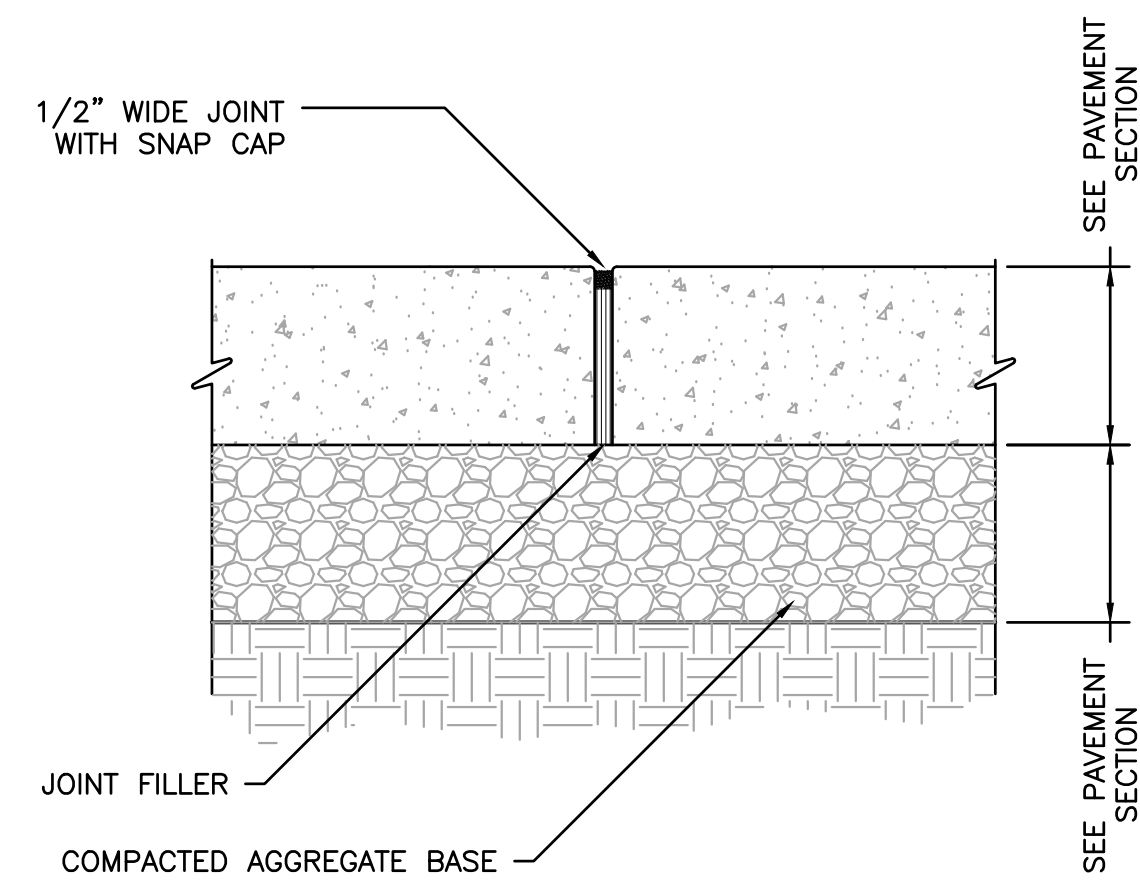
**ENGINEERING SITE PLAN**

DESIGN/CALC BY: CJK  
 DRAWN BY: CJK  
 CHECKED BY: SKV  
 DRAWING SCALE: AS SHOWN  
 DATE: 03/30/2026

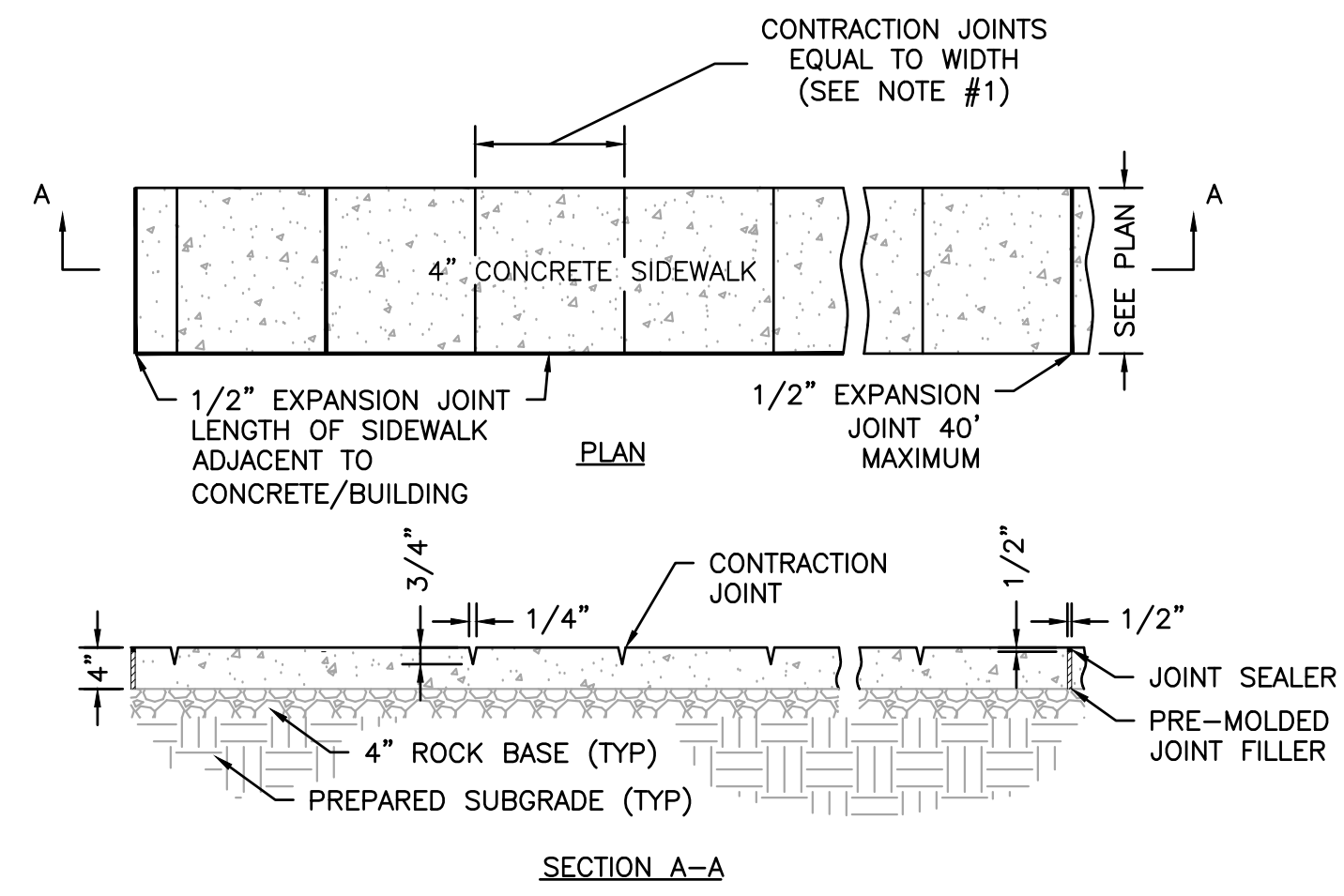
Job Number  
**26-0030**

Sheet Number  
**C3.0**

USER: Cameron Kohout TAB: C4.0 DETAIL SHEET  
 DATE: March 30, 2026 - 8:25:05 AM  
 DRAWING: S:\JOBS\Job#26-0030\CADD\Civil\PolSheets\C4.0\PLAN\_DETAIL\_26-0030.dwg

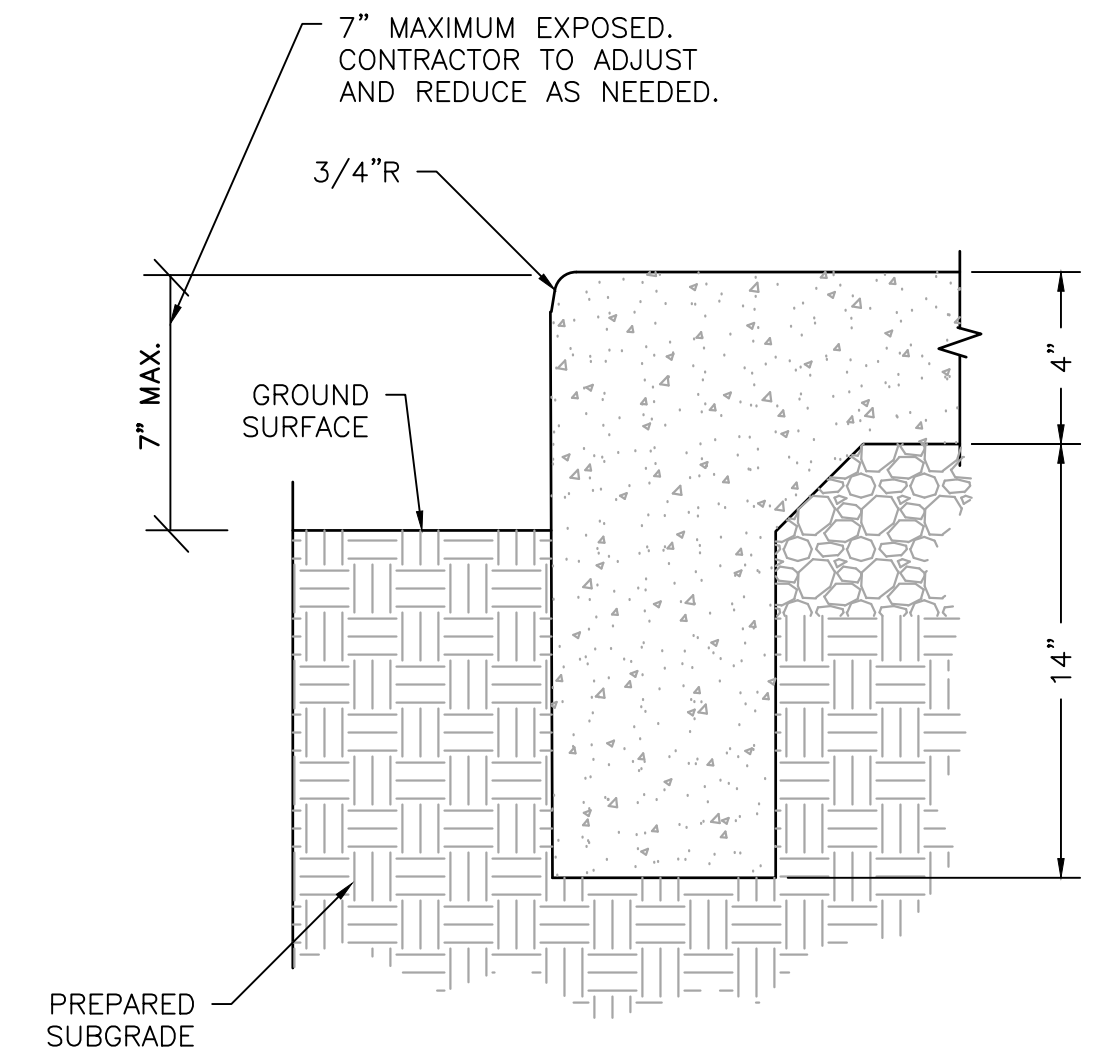


**1 EXPANSION JOINT DETAIL**  
 SCALE: N.T.S. REF. DWG. C3.0



NOTES:  
 1. DETAIL IS INTENDED FOR SIDEWALK WIDTHS OF 4 TO 6 FEET. CONTRACTOR SHALL COORDINATE WITH ARCHITECT OR ENGINEER FOR ANY SIDEWALK WIDTHS THAT EXCEED 6 FEET.

**2 CONCRETE SIDEWALK DETAIL**  
 SCALE: N.T.S. REF. DWG. C3.0



**3 THICKENED EDGE SIDEWALK DETAIL**  
 SCALE: N.T.S. REF. DWG. C3.0

DEVELOPER/OWNER:  
**HEARTLAND DENTAL**  
 1200 NETWORK CENTRE DRIVE  
 EFFINGHAM, ILLINOIS 62401  
 PHONE 518-262-7133

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**HEARTLAND DENTAL**  
**PEWAUKEE**  
 135 CAPITOL DR  
 PEWAUKEE, WI 53072

**DETAIL SHEET**

DESIGN/CALC BY: CJK  
 DRAWN BY: CJK  
 CHECKED BY: SKV  
 DRAWING SCALE: AS SHOWN  
 DATE: 03/30/2026

Job Number  
**26-0030**

Sheet Number  
**C4.0**

TO: Village of Pewaukee Plan Commission  
CC: Matt Heiser – Village Administrator, Jenna Peter - Clerk  
FROM: Mark Lyons, Planning Consultant  
RPT DATE: May 7, 2026  
MTG DATE: May 14, 2026  
RE: 5d – Streetworks Exotics Site Plan Amendment

**BACKGROUND:**

1. Petitioner: JAKnetter Architects, Inc – Jay Knetter
2. Property Owner: Road Runner Venture, LLC
3. Location/Address: 600 Hickory Street
4. Tax Key Number: PWV 090099301
5. Area: ~2.04 AC
6. Existing Zoning: B-5 Light Industrial District
7. Proposed Zoning: N/A

**OVERVIEW:**

The Petitioners are requesting approval of a Business Site Plan / Plan of Operation amendment to construct 4,225 sq. ft, building addition and associated parking.

**SUBMITTAL:**

The enclosed submittal includes the application, GIS map and supplemental documentation.

**PLANNER COMMENTS:**

1. **Zoning Requirements:** Section 40.438 requires Plan Commission to approve site plans for industrial properties. The proposed use of automobile restoration is consistent with the allowed uses in the B-5 District.
2. **Business Site Plan:** The applicant is proposing to construct a 4,225 sq. ft. building addition on the south side of the existing facility. The proposed building addition is in line with the existing non-conforming setback. In order to be approved at this location the building addition must remain in line and can't extend closer to the side offset than the existing building. The currently proposed parking lot south of the building does not meet the ordinances setback requirements and therefore must be eliminated or altered before final approval and permit issuance. The existing parking lot established a legal non-conforming street setback. The new parking area must be constructed in line with or behind that established setback. As shown on the current plans it extends closer to Hickory Street and therefore is not permitted. The proposed parking lot also extends closer to west property line than the current non-conforming setback. This will also need to be revised to either 1) meet the currently established setback line or 2) Per section 40.326 Plan Commission can waive the minimum parking offset as part of their approval process. As the site is currently substandard from the typical 20" requirements it is staff recommendation that at a minimum, the parking area be brought in line with the established non-conforming offset.

3. **Landscaping & Lighting:** No landscaping or photometric plan have been provided as part of the submittal. The applicant will need to submit code compliant landscaping and lighting plans for review and approval by Village Planner prior to permit issuance.
4. **Plan of Operation:** The applicant has indicated 24 full-time and 2 part-time employees, with hours of operation from 7am-6pm Monday-Thursday.

**ENGINEER COMMENTS:**

The Village engineer has reviewed the proposed plan and those comments are attached as part of this report.

**Department of Public Works Comments:**

The Department of Public Works has reviewed the proposed plan and offered the following recommendations:

1. Schedule and conduct appointment with the Water Utility Department staff to identify the water service pipe material prior to issuance of permit. If service material is lead, the Applicant will be required to replace the water service from building to the curb stop. The phone number for the Water Utility is 262-200-7506.
2. The lateral needs to be reviewed for structural integrity and potential infiltration. The Village staff or designated representative will review the sewer lateral video and check if the lateral condition is adequate or needs rehabilitation. If the work cannot be completed prior to issuance of permit or occupancy, then posting a \$5,000 financial guarantee is acceptable to allow applicant to proceed. This includes costs for televising and potential work on sewer lateral.

**STAFF RECOMMENDATION:**

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

The Village of Pewaukee Plan Commission **Approves** the Business Site Plan Amendment Request for Streetworks Exotics for the property located at **600 Hickory Street**, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of May 14, 2026 are met.
2. Submit revised site layout, landscaping and lighting plans for review and approval by Village staff prior to permit applications.
3. Site shall be development in compliance with the plans submitted for Plan Commission review on May 14, 2026 or as modified to comply with the necessary change identified herein.
4. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission and Board, Village Engineer and Village Planner for the site plan, and other documentation.
5. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
6. Fire Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village of Pewaukee Fire Department Chief (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village of Pewaukee Fire Department Chief (or designee), if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied

upon by the petitioner or others as proof of fire safety of any structure on the property, or as proof of compliance with any particular fire safety standard that would apply to new construction. The petitioner shall independently determine the fire safety and suitability of all structures on the property for the petitioner's intended uses.

7. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Business Site Plan approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
8. The Property Owner shall keep the exterior condition of the premises in a neat and orderly condition at all times so the premises will not detract from neighboring premises. There shall be no outside storage of junk, debris, construction material, or other refuse materials within the property and all such materials shall be disposed of promptly and properly.
9. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
10. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
11. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

**EXHIBIT:**

- A. GIS Property Location Map
- B. Petitioner Application.
- C. Supplemental documents.



CREATIVITY BEYOND ENGINEERING

**DATE:** May 5, 2026

**TO:** Village of Pewaukee Plan Commission

**FR:** Jake Scholbe, P.E. – Village Consulting Engineer

**CC:** Matt Heiser – Village Administrator  
Jenna Peter - Village Clerk  
Mark Lyons – Village Planner  
Matt Gralinski – Village Attorney  
Dave Buechl – Director of Public Works/Engineer

**RE:** Streetworks Building Addition - Site Plan Review  
600 Hickory Street, Pewaukee, WI 53072

## **Report**

The applicant proposes to construct a new building addition of 4,225 square feet that will be used as an expansion area for the current automobile restoration process. The project is located on tax parcel PWV 0900994. A complete set of civil engineering plans has been submitted for review.

Site Plan: The project includes construction of a building addition and expansion of the existing parking lot, resulting in eight (8) additional parking stalls. Upon completion, the site will provide a total of 20 parking stalls, including one (1) existing ADA-accessible stall, which remains compliant with federal ADA regulations.

Access: Site access will remain unchanged. The existing driveway will be reconstructed in its current location.

Site Grading and Drainage: The project will maintain the site’s existing drainage patterns. Runoff from the proposed building addition will discharge to the proposed swale located along the western property line. Pavement runoff from the parking lot will sheet flow to the south toward the Village right-of-way.

Sanitary Sewer and Water: Construction is not anticipated to impact existing private sanitary or water utilities.

Stormwater Management: The project will result in approximately 4,787 square feet of additional impervious surface, with total site disturbance less than one acre. As such, stormwater management is not required.

Floodplain: A portion of the site is located within the 1% annual chance floodplain (floodfringe district). Based on FEMA mapping and available survey information, the existing structure is located outside of the floodplain. The proposed addition will also remain outside of the floodplain limits.

The project will result in a minor increase in floodplain footprint within the parking lot area. Per Section 40.388(c)(3), surface parking areas may be constructed below the floodplain elevation. As the work is located within the floodfringe district, additional hydraulic analysis is not required. The proposed development appears to comply with the Village’s floodplain ordinance.

Erosion Control: Erosion control measures are incorporated into the plan set, including general notes, perimeter control devices along downstream limits, and inlet protection for structures located within Hickory Street.

## **Recommendation**

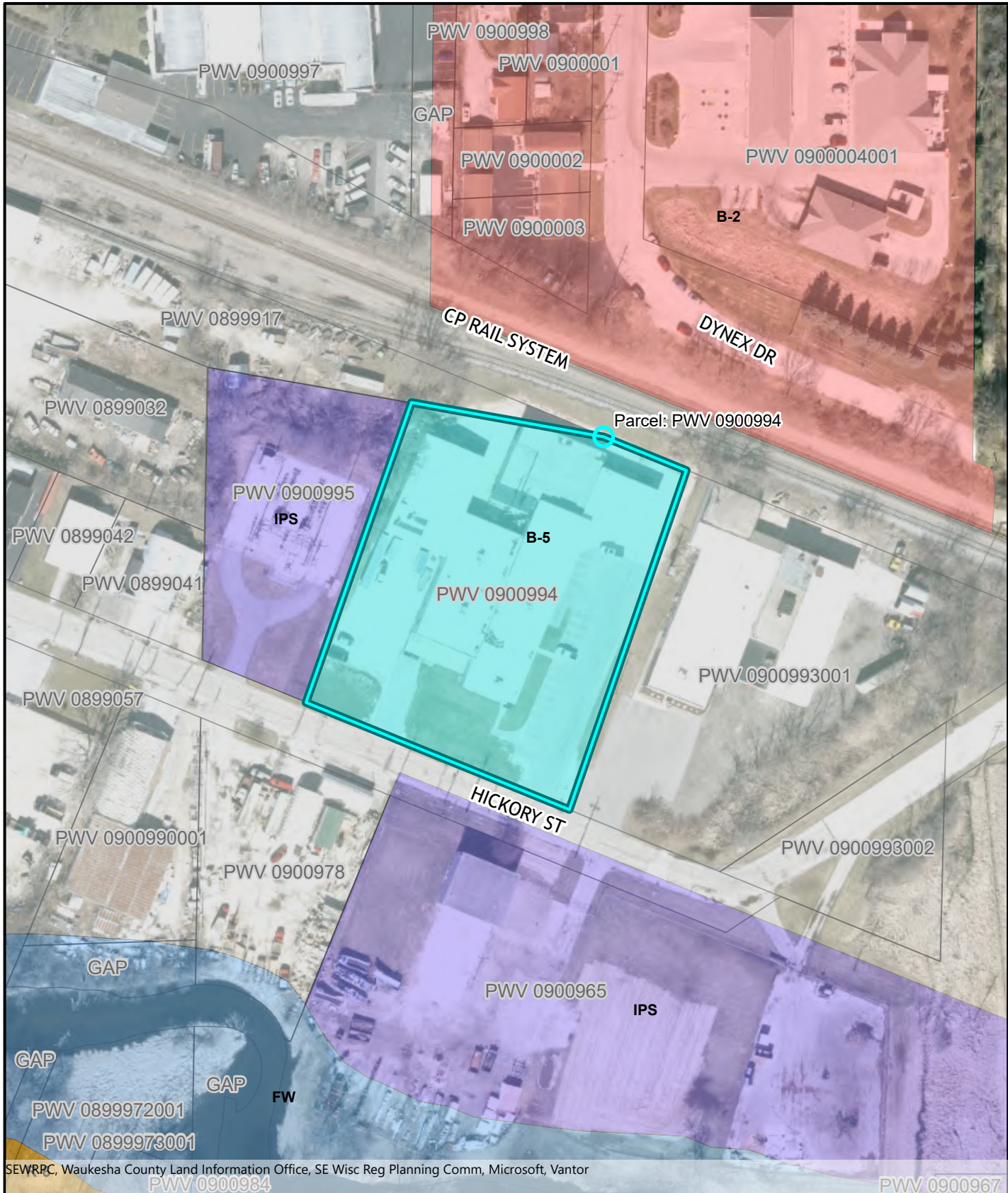
I recommend approval of the site civil plans (Sheets C1.0–C4.0), prepared by JSD Professional Services, Inc. and dated April 14, 2026, subject to staff satisfaction of the following comments:

### **General Comments**

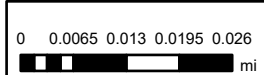
1. Final plans shall be stamped by a licensed engineer in the state of Wisconsin.
2. Provide existing contour labels on all applicable sheets.
3. Any existing roadway pavement along Hickory Street disturbed or damaged from the driveway and/or parking lot construction shall be replaced in kind. Roadway restoration at a minimum shall be completed by sawcutting and removing the existing pavement in neat straight lines extending 2 feet toward the roadway centerline along the full width of the driveway or as applicable, with a minimum pavement section adhering to the heavy duty asphalt pavement section as shown in the project plans.



# 600 Hickory Street Zoning Map



SEWRPC, Waukesha County Land Information Office, SE Wisc Reg Planning Comm, Microsoft, Vantor



1" = 122'  
1:1,462

Village of Pewaukee  
235 Hickory Street  
Pewaukee, WI 53072  
262-691-5660

Notes  
None

DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



# Business Plan of Operation Application

235 Hickory St, Pewaukee WI 53072- villagehall@villageofpewaukeewi.gov—262-691-5660

**Office use only:**

Zoning Admin Approval: \_\_\_\_\_ Date \_\_\_\_\_

Planner Approval: \_\_\_\_\_ Date \_\_\_\_\_

## BUSINESS & PROPERTY

Tax Key No. PWV FEIN#: 20-3142734

Business Name: Streetworks Exotics Current Zoning: B-5

Business Address: 600 Hickory Street, Pewaukee, WI 53072

Mailing Address: (same as above)

Email: streetworkshotrods@gmail.com Phone: 262-547-0052

## TENANT INFORMATION

Tenant Name: (same as above) FEIN#: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Email: \_\_\_\_\_

List any Special Equipment/Facilities/Requirements we need to know about:

## BUSINESS INFORMATION

Description of Business: Automobile Restoration of American and European Vehicles

Type of business:  Retail  Office  Warehouse/Storage  Industrial  Institutional  Wholesale  Other \_\_\_\_\_

New Use?  YES  NO or Expanded Use?  YES  NO Operation Days and Hours: Monday thru Thursday 7am-6pm

Maximum Number of Employees: Full-time 24 Part-time 2

Expected Customers per Day: 10 Delivery Trucks per day: 1 Vehicles per day: 10

Available Parking Spaces: 27 Loading Spaces: 2 Overnight Parking:  YES  NO

Outdoor Storage:  YES  NO - If yes, list type: Temporary storage may occur but intended to be placed inside the building

Sewage Disposal: Public Sewer  Septic Tank / Storm Water Retention/Detention?  YES  NO

Water Supply by:  Public Water  Main  Private Well  Other

Solid Waste  (garbage) Disposal by: Waste Management

List Where any Flammable Substances are stored: \_\_\_\_\_

## Applicant and Property Owner Signature

 Jay A. Kuetter, AIA & MB \_\_\_\_\_  
 Applicant Signature & Print Name Owner Signature & Print Name Date

Commercial & Industrial businesses are required to fill out the below form. The discharge produced must comply with all conditions of the [City of Brookfield Municipal Code Chapter 13.20](http://www.cityofbrookfield.com) at [www.cityofbrookfield.com](http://www.cityofbrookfield.com)

### Notice of Intent to Discharge Wastewater

Business Name: StreetWorks Exotics  
Business Address: 600 Hickory Street, Pewaukee, WI 53072  
Mailing Address: (same as above)  
Company Representative: Matt Backhaus Title: Owner  
Phone: 262-547-0052 Email: streetworkshotrods@gmail.com

**Description of business:**

# Auto restoration and service

Number of Employees: Full-time 24 Part-time 2

Operation Days and Hours: Monday thru Thursday 7am-6pm # of Shifts: 1

SIC OR NAICS CODE: \_\_\_\_\_

**Reason for filing survey:**

- Change of occupancy
- Construction of a new facility
- Proposing to discharge from a facility where there is currently no discharge or adding a new sewer connection
- Significantly Altering the volume or characteristics of an existing discharge
- Applying for reissuance of an existing discharge permit
- Per request by municipality—discharge ongoing with no expected changes
- Update previous information

Date when new or altered discharge is expected to begin \_\_\_\_\_

**Estimated sanitary sewer discharge (report gallons/day):**

	Current:	Proposed:
Process wastewater	_____	_____
Sanitary wastewater	_____	_____
Cooling water	_____	_____

- Note: A review of quarterly water usage bills may be helpful in assigning flow values. Total gal/day (for all uses) = qtr usage (in 1000 gallons) x 1000/# operating days in qtr. This daily total is then distributed into estimated gal/day of process, sanitary, and/or cooling. Process wastewater is any discharge other than sanitary, non-contact cooling or boiler blowdown water. Sanitary flow may be estimated as 20 gal/day/employee.

Use this space to describe the process that will result in the discharge of commercial/industrial process wastewater:

List chemicals/pollutants expected to be present in your discharge:

Describe any wastewater pretreatment and/or facilities to be used:

List toxic organic compounds (solvents, flammable compounds etc:

How are these toxic organic compounds disposed of:

### Agreement to Abide

I Certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

MB

4/14/25

Matthew Backhaus

Authorized Representative Signature

Date

Printed Name

Comments:

Staff comments:



# BUSINESS SITE PLAN APPLICATION FORM

235 Hickory St, Pewaukee WI 53072 - villagehall@villageofpewaukee.gov - (262) 691-5660

## PROPERTY / PROPERTY OWNER INFORMATION

Property Address: 600 Hickory Street Tax Key: PWV \_\_\_\_\_

Property Owner Name: Matt Backhaus (StreetWorks Exotics) Zoning of Property: B-5

## APPLICANT INFORMATION

Applicant Name: Jay Knetter Applicant Phone #: 262-278-4383

Applicant Address: N16 W23217 Stone Ridge Drive, Waukesha, WI. 53188

Applicant Email: jayk@jaknetter.com

## DESCRIPTION OF REQUEST (Please be thorough and attach additional pages if needed)

Business Name Corresponding to Site Plan: StreetWorks Exotics

FEIN, if applicable: 20-3142734

Summary of Request (New Construction, Addition, Modification, etc.): This project consists of a new building addition of 4,225 SF that will be used as expansion area for the current automobile restoration process. There will be O.H. door access into the building addition to assist in the flow of the restoration process. The building addition will be constructed with a steel structure and have an insulated prefinished metal panel wall system with color to be contextual with the existing building.

## DIRECTIONS / NOTES—See page 4 for specific items required

NOTE: As this is for consultative purposes only, an engineering review will not take place at this time. An engineering review will take place if/when a formal application for approval is submitted.

**Please return Completed Application Forms along with the following:**

- 1. One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less. Also provide one full size scale copy if larger than 11x17.
- 2. One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email)
- 3. Signatures on page 3
- 4. Completed Professional Services Reimbursement Form
- 5. Conditional Use for Restaurant/Night Club must be attached *if applicable*

**For Office Use Only**

Staff Initials: \_\_\_\_\_

Date/Time Received: \_\_\_\_\_

RECEIVED 04/15/20 MO

Revised 12/12/23



# Business Plan of Operation Application

235 Hickory St, Pewaukee WI 53072- villagehall@villageofpewaukee.gov-262-691-5660

Office use only:

Zoning Admin Approval: \_\_\_\_\_ Date \_\_\_\_\_

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Water Supply by:  Public Water  Main  Private Well  Other \_\_\_\_\_

Solid Waste  (garbage) Disposal by: Waste Management

List Where any Flammable Substances are stored: \_\_\_\_\_

## Applicant and Property Owner Signature

 Jan A. Knetter, AIA & MB

Applicant Signature & Print Name \_\_\_\_\_ Owner Signature & Print Name \_\_\_\_\_ Date \_\_\_\_\_

Send to Building Services \_\_\_\_\_ Send to Clerk \_\_\_\_\_ Save to Property File \_\_\_\_\_

Commercial & Industrial businesses are required to fill out the below form. The discharge produced must comply with all conditions of the [City of Brookfield Municipal Code Chapter 13.20](http://www.cityofbrookfield.com) at [www.cityofbrookfield.com](http://www.cityofbrookfield.com)

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SIC OR NAICS CODE: \_\_\_\_\_

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	Current:	Proposed:
Process wastewater	_____	_____
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Use this space to describe the process that will result in the discharge of commercial/industrial process wastewater:

List chemicals/pollutants expected to be present in your discharge:

Describe any wastewater pretreatment and/or facilities to be used:

List toxic organic compounds (solvents, flammable compounds etc):

How are these toxic organic compounds disposed of:

### Agreement to Abide

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MB

4/14/25

Matthew Backhaus

Authorized Representative Signature

Date

Printed Name

Comments:

Staff comments:



# BUSINESS SITE PLAN APPLICATION FORM

235 Hickory St, Pewaukee WI 53072 - villagehall@villageofpewaukee.gov - (262) 691-5660

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- 4. Completed Professional Services Reimbursement Form
- 5. Conditional Use for Restaurant/Night Club must be attached *if applicable*

**For Office Use Only**

Staff Initials: MD

Date/Time Received: 04/15/20

**Provide detailed information with your application that addresses the following:**

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate your application such as architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, site grading and drainage, exterior lighting, dumpster location and screening, outside storage of any sort, and manner of control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & ensure general compatibility of the proposed use within its surroundings.
2. It is the responsibility of the applicant/owner to ensure that the proposed project complies with the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted [Land Use Plan](#) to ensure a proper understanding of the Village's future vision for the area in question.
3. Signage shall be determined through a sign permit process and/or a sign plan approved by the Plan Commission. Permits for individual signs may be applied for with the Village's Code Compliance Officer.

Matt Backhaus

**Property Owner Printed Name**

**Signature of Property Owner**

The application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Jay Knetter

**Applicant's Printed Name**

**Signature of Applicant**

If you have any questions, please call Village Hall at (262) 691-5660.



# PROFESSIONAL SERVICES REIMBURSEMENT AGREEMENT

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukee.gov—262-691-5660

### PROPERTY INFORMATION

Property Address: 600 Hickory Street Tax Key: PWV \_\_\_\_\_

Property Owner's Name: Matt Backhaus Phone Number: 262-547-0052

### RESPONSIBLE PARTY INFORMATION - All invoices will be mailed to this address.

Business Name: StreetWorks Exotics FEIN: 20-3142734

Person Responsible for Payment / Business Contact Name: Matt Backhaus

Mailing Address: 600 Hickory Street, Pewaukee, WI 53072

Responsible Party / Contact Phone Number: 262-547-0052

Responsible Party / Contact Email Address: streetworkshotrods@gmail.com

### AGREEMENT / SIGNATURES - Property Owner signature is required.

Pursuant to the Village of Pewaukee [Code of Ordinances Sec 40.116\(b\)](#), the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff or other expert consultants are retained by the Village in order to complete a proper project review results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Treasurer shall charge those service fees incurred by the Village to the applicant/property owner. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

By signing this form, I, the undersigned, have been advised that pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner, or any other Village professional staff or other expert consultants retained by the Village in order to complete a proper project review provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

**The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.**

Property Owner Signature: MB Printed Name: Matt Backhaus Date: 4-14-2026

Applicant Signature: [Signature] Printed Name: Jay A. Knetter Date: 4.14.2026

For Office Use Only

Staff Initials: MD

Date Received: 04/15/26



# PROFESSIONAL SERVICES REIMBURSEMENT AGREEMENT

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukee.wi.gov—262-691-5660

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**The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.**

Property Owner Signature:  Printed Name: Matt Backhaus Date: 4-14-2026

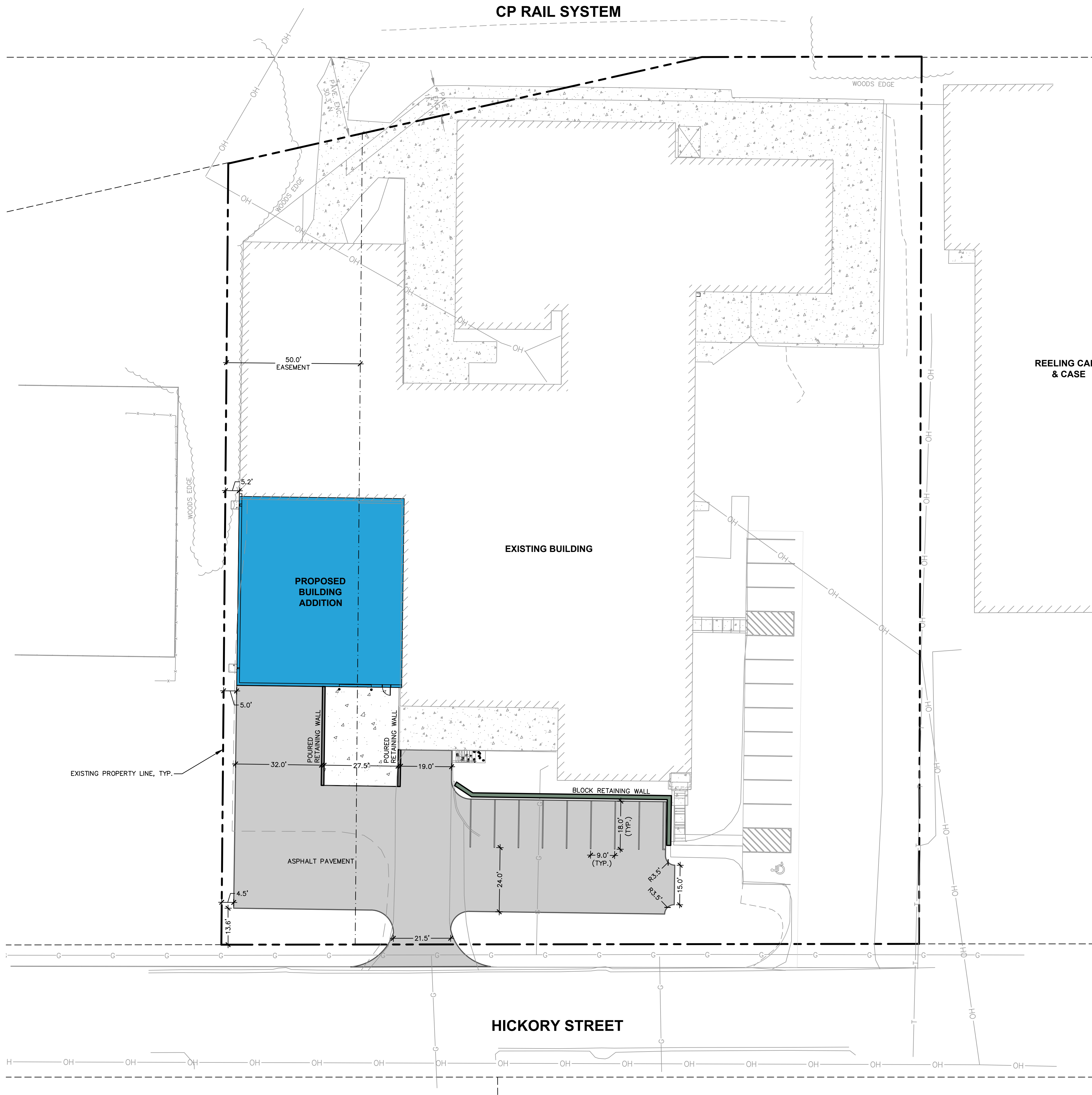
Applicant Signature:  Printed Name: Jay A. Knetter Date: 4.14.2026

**For Office Use Only** Staff Initials: \_\_\_\_\_ Date Received: \_\_\_\_\_





**CP RAIL SYSTEM**



**PAVING NOTES**

1. GENERAL:
  - 1.1. PAVING SHALL CONFORM TO STATE HIGHWAY SPECIFICATIONS AND APPLICABLE JURISDICTIONAL SPECIFICATIONS.
  - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
  - 1.3. ALL SPOT GRADES ARE TO EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
  - 1.4. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER, PAVEMENT, OR SIDEWALK SHALL MATCH EXISTING AND MEET JURISDICTIONAL REQUIREMENTS.
2. CRUSHED AGGREGATE BASE COURSE SPECIFICATIONS:
  - 2.1. THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305 OF THE STATE HIGHWAY SPECIFICATIONS.
  - 2.2. RECLAIMED OR RECYCLED ASPHALT MAY NOT BE USED AS CRUSHED AGGREGATE BASE COURSE UNLESS SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD. USE OF ANY OTHER REPROCESSED OR BLENDED MATERIAL MUST FIRST BE APPROVED BY ENGINEER OF RECORD.
  - 2.3. DO NOT PLACE BASE ON FROZEN FOUNDATIONS UNLESS THE ENGINEER APPROVES OTHERWISE.
  - 2.4. DO NOT PLACE BASE ON FOUNDATIONS THAT ARE SOFT, SPONGY, OR COVERED BY ICE OR SNOW.
3. HOT MIXED ASPHALT (HMA) PAVING SPECIFICATIONS:
  - 3.1. THE PLACING, CONSTRUCTION, AND COMPOSITION OF THE BASE COURSE AND HMA SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
  - 3.2. WEATHER LIMITATIONS:
    - 3.2.1. DO NOT PLACE HMA WHEN BASE IS WET OR CONTAINS EXCESS MOISTURE.
    - 3.2.2. DO NOT PLACE ASPHALTIC MIXTURE WHEN THE AIR TEMPERATURE IS APPROXIMATELY 3° ABOVE GRADE, IN SHADE, AND AWAY FROM ARTIFICIAL HEAT SOURCES IS LESS THAN 40°F UNLESS A VALID ENGINEER-ACCEPTED COLD WEATHER PAVING PLAN IS IN EFFECT.
    - 3.2.3. PLACE ASPHALTIC MIXTURE ONLY ON A PREPARED, FIRM, AND COMPACTED BASE, FOUNDATION LAYER, OR EXISTING PAVEMENT SUBSTANTIALLY SURFACE DRY AND FREE OF LOOSE AND FOREIGN MATERIAL. DO NOT PLACE OVER FROZEN SUBGRADE OR BASE, OR WHERE THE ROADBED IS UNSTABLE.
    - 3.2.4. APPLY TACK COAT ONLY WHEN THE AIR TEMPERATURE IS 32°F OR MORE UNLESS THE ENGINEER APPROVES OTHERWISE IN WRITING.
    - 3.2.5. ALL ASPHALT (BOTH UPPER AND LOWER LAYERS) SHALL BE DELIVERED TO THE PROJECT SITE AT A TEMPERATURE NOT LOWER THAN 250°F.
  - 3.3. CONTRACTOR SHALL ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
  - 3.4. BINDER COURSE AGGREGATE:
    - 3.4.1. THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTION 460 OF THE STATE HIGHWAY SPECIFICATIONS.
  - 3.5. SURFACE COURSE AGGREGATE:
    - 3.5.1. THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
  - 3.6. ASPHALTIC MATERIALS:
    - 3.6.1. THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTIONS 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
4. CONCRETE PAVING SPECIFICATIONS:
  - 4.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 405, 415, AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
  - 4.2. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
  - 4.3. CONTRACTOR SHALL PROVIDE A JOINTING PLAN TO ENGINEER IF NOT INCLUDED IN THE PLANS. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 15' ON CENTER.
  - 4.4. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 100' APART.
  - 4.5. PLACE EXPANSION JOINTS IN CURB, GUTTER, OR CURB AND GUTTER CONSTRUCTED NEXT TO ASPHALTIC PAVEMENT OR SURFACING. LOCATE JOINTS EVERYWHERE THAT TANGENT AND RADIAL CURB OR CURB AND GUTTER MEET; ON EACH SIDE OF EVERY INLET 3' FROM THE INLET, BUT NO CLOSER THAN 6' FROM ANOTHER JOINT; AND ON TANGENT SECTIONS PLACE BETWEEN 6' AND 300'.
  - 4.6. IF CONSTRUCTING CURB, GUTTER, OR CURB AND GUTTER NEXT TO, OR ON, CONCRETE PAVEMENT CONSTRUCTED WITH EXPANSION JOINTS, THEN PLACE EXPANSION JOINTS TO MATCH THE EXPANSION JOINT LOCATIONS IN THE PAVEMENTS.
  - 4.7. FOR CURB AND GUTTER, FORM CONTRACTION JOINTS BY SAWING OR FORMING AN INDUCED PLANE OF WEAKNESS AT LEAST 2" DEEP IN THE CURB, GUTTER, OR CURB AND GUTTER DIRECTLY OPPOSITE CONSTRUCTION OR CONTRACTION JOINTS IN ADJOINING CONCRETE PAVEMENT AND AT THE REQUIRED SPACING IN CURB, GUTTER, OR CURB AND GUTTER ADJOINING ASPHALTIC PAVEMENT. SPACE JOINTS BETWEEN 6' AND APPROXIMATELY 20' APART, AS THE ENGINEER DIRECTS.
  - 4.8. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
  - 4.9. CONTRACTOR SHALL INSTALL TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS AS SPECIFIED ON PLANS AND IN ACCORDANCE WITH STATE AND FEDERAL REQUIREMENTS.

**REELING CART & CASE**

**SITE INFORMATION**

PARCEL NO.	PW 0900994
SITE AREA	82,654 S.F. (1.897 ACRES)
<b>NUMBER OF PARKING STALLS</b>	
SURFACE	
STANDARD	26
ACCESSIBLE	1
TOTAL SURFACE	27
<b>SITE COVERAGE ANALYSIS</b>	
EXISTING IMPERVIOUS SURFACE AREA	66,032 SF (1.516 ACRES)
EXISTING PERVIOUS SURFACE AREA	16,622 SF (0.382 ACRES)
PROPOSED PAVED AREA	35,813 SF (0.822 ACRES)
PROPOSED BUILDING FOOTPRINT	35,006 SF (0.804 ACRES)
PROPOSED IMPERVIOUS SURFACE AREA	70,820 SF (1.626 ACRES)
PROPOSED IMPERVIOUS SITE PERCENTAGE	86%
PROPOSED PERVIOUS SURFACE AREA	11,834 SF (0.272 ACRES)
PROPOSED PERVIOUS SITE PERCENTAGE	14%
PROPOSED NET IMPERVIOUS INCREASE	4,787 SF (0.110 ACRES)
PROPOSED CN VALUE	95
DISTURBED AREA	16,494 SF (0.379 ACRES)

**LEGEND**

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- BUILDING OUTLINE
- - - BUILDING SETBACK LINE
- - - PAVEMENT SETBACK LINE
- EDGE OF PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- RETAINING WALL
- BOLLARD

North arrow pointing up.

SCALE IN FEET

Graphic scale bar showing 0, 20, and 40 feet.

**DIGGERS HOTLINE**

Toll Free (800) 242-8511



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jsdinc.com

MILWAUKEE REGIONAL OFFICE  
W238 N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:  
**JAK ARCHITECTS**

CLIENT ADDRESS:  
**N16 W23217 STONE RIDGE CIRCLE, SUITE 300 WAUKESHA, WI 53188**

PROJECT:  
**STREETWORKS BUILDING ADDITION**

PROJECT LOCATION:  
**600 HICKORY STREET PEWAUKEE, WAUKESHA COUNTY WI, 53072**

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	04-14-26	PRELIMINARY CIVIL PLANS
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: CSF  
Reviewed By: CAJ  
Approved By: CAJ

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C2.0**

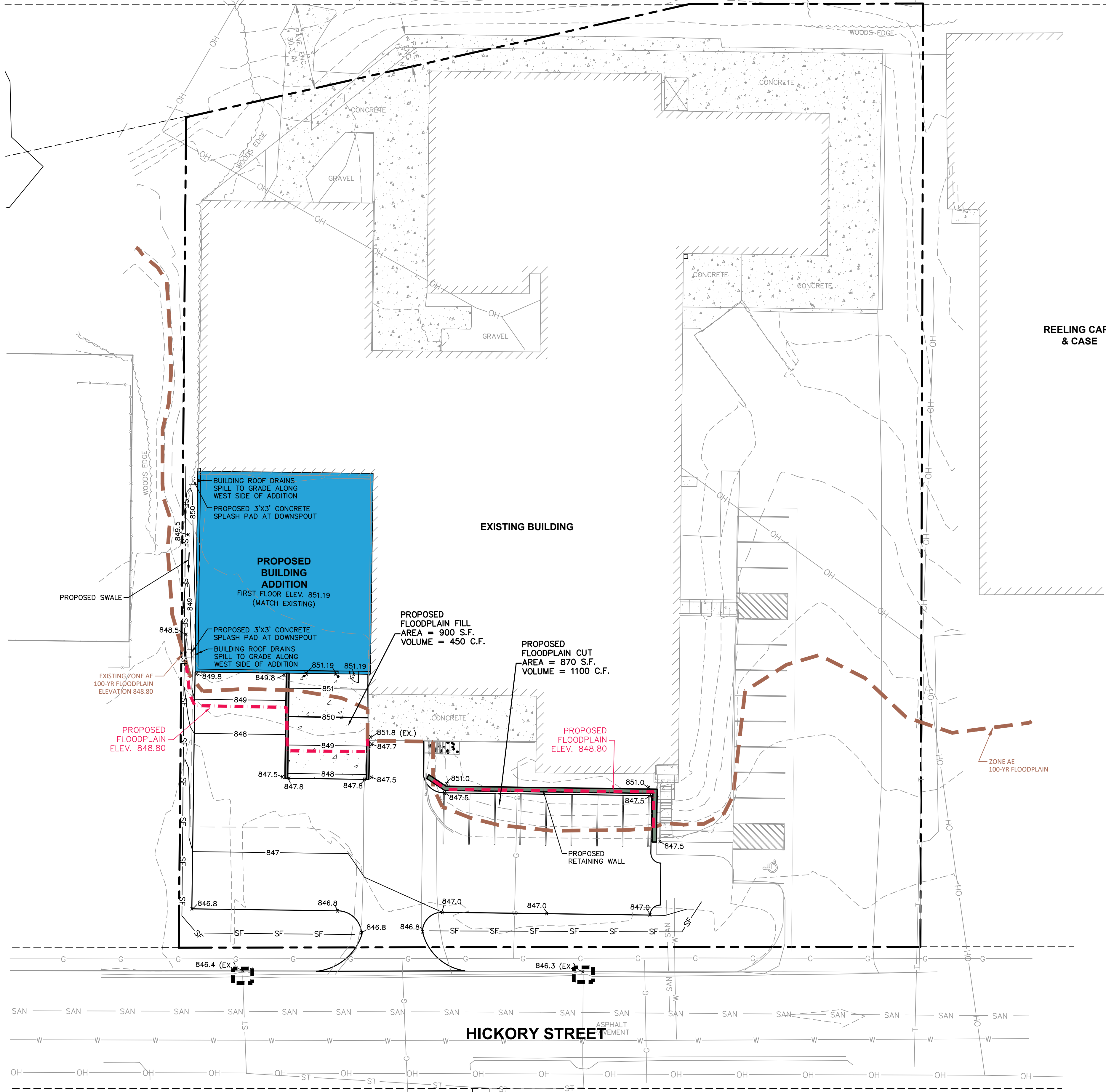
JSD PROJECT NO:

CP RAIL SYSTEM

GRADING AND EARTHWORK NOTES

- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY, AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST-EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- ALL EXCAVATIONS AND FILLS SHALL BE TO THE ELEVATIONS SHOWN ON THE DRAWINGS AND SHALL INCLUDE SUFFICIENT DEPTHS FOR PLACEMENT OF FILL MATERIALS, BASE COURSES, PAVEMENTS, TOPSOIL, AND OTHER MATERIALS TO THE SPECIFIED DEPTHS.
- CONTRACTOR SHALL NOT EXCAVATE BELOW ELEVATIONS OR DESIGN GRADES SHOWN ON THE DRAWINGS WITHOUT PRIOR AUTHORIZATION FROM ENGINEER AND OWNER.
- PRIOR TO ALL EXCAVATION OR FILLING OPERATIONS, CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TOPSOIL FROM PROPOSED LOCATIONS OF BUILDINGS, STRUCTURES, ROADS, WALKS, OTHER PAVED AREAS, STORM WATER FACILITIES OR WITHIN THE GRADING EXTENTS WHERE EXISTING GRADES ARE ALTERED BY MORE THAN 3" REMOVED OR STRIPPED TOPSOIL SHALL BE SEGREGATED AND STOCKPILED ON-SITE IN AN APPROPRIATE LOCATION TO BE RESPREAD AS SPECIFIED ON THE DRAWINGS.
- CONTRACTOR SHALL NOT PLACE ANY FILL OR OTHER MATERIALS ON AREAS THAT HAVE NOT HAD TOPSOIL REMOVED, ARE FROZEN, SATURATED, OR YIELDING. CONTRACTOR SHALL NOTIFY OWNER OR ENGINEER IF SUBGRADE CONDITIONS ARE NOT SUITABLE FOR SUPPORTING FILL AND A FURTHER DETERMINATION SHALL BE PROVIDED BY OWNER OR ENGINEER.
- CONTRACTOR SHALL PLACE THE FILLS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT INCLUDING LIFT DEPTHS AND COMPACTION EFFORTS.
- PRIOR TO PLACEMENT OF BASE COURSE MATERIALS IN PAVEMENT OR HARD SURFACE AREAS OR CONDUCTING EXCAVATION BELOW SUBGRADE (EBS) ELEVATIONS, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER TO CONDUCT AN INSPECTION OF THE PREPARED SUBGRADE AND PROOF-ROLLING. PROOF-ROLLING SHALL BE CONDUCTED BY THE CONTRACTOR IN WITNESS OF THE OWNER AND ENGINEER. OWNER AND ENGINEER SHALL DETERMINE IF AREAS OF EBS ARE REQUIRED. EBS SHALL BE COMPLETED BY THE CONTRACTOR PER THE DIRECTION OF THE OWNER AND ENGINEER.
- SOIL MATERIAL SPECIFICATIONS:
  - FILL AND BACKFILL MATERIALS:
    - MATERIAL SHALL BE SATISFACTORY MATERIALS EXCAVATED FROM THE SITE, PER THE GEOTECHNICAL REPORT. IF SATISFACTORY MATERIALS ARE NOT AVAILABLE ON-SITE OR ADDITIONAL MATERIALS ARE REQUIRED, REFER TO IMPORTED FILL MATERIAL SPECIFICATIONS.
  - IMPORTED FILL MATERIAL:
    - MATERIAL SHALL BE PROVIDED BY THE CONTRACTOR FROM OFFSITE BORROW AREAS WHEN SUFFICIENT, SATISFACTORY MATERIALS ARE NOT AVAILABLE ON-SITE. IMPORTED FILL MATERIAL SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND CONSIST OF CLEAN MATERIAL OF INORGANIC SOILS OR A MIXTURE OF INORGANIC SOIL AND ROCK, STONE, OR GRAVEL. THE MATERIAL SHALL BE FREE OF TOPSOIL, VEGETATION, PAVEMENT RUBBLE, DEBRIS, OR OTHER DELETERIOUS MATERIALS. THE MAXIMUM NOMINAL DIMENSION OF MATERIALS CONSISTING OF ROCK, STONE, OR GRAVEL SHALL BE 6".
  - GRANULAR FILL:
    - MATERIAL SHALL CONSIST OF CLEAN MATERIAL MEETING THE REQUIREMENTS OF "GRADE 1" OR "GRADE 2" GRANULAR BACKFILL AS DEFINED IN SECTION 209.2.1 OF THE STATE HIGHWAY SPECIFICATIONS.
  - BUILDING STRUCTURAL FILL:
    - CLEAN MATERIAL MEETING THE REQUIREMENTS OF TYPE A "STRUCTURE BACKFILL" AS DEFINED IN SECTIONS 210.2.1 AND 210.2.2 OF THE STATE HIGHWAY SPECIFICATIONS AND GEOTECHNICAL REPORT.

REELING CART & CASE



**LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	DRAINAGE DIRECTION
	RETAINING WALL
	SILT FENCE
	SPOT ELEVATION
	INLET PROTECTION

Scale in Feet: 20' 0' 20'

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CLIENT:  
**JAK ARCHITECTS**

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PLAN MODIFICATIONS:

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Designed By: CSF  
Reviewed By: CAJ  
Approved By: CAJ

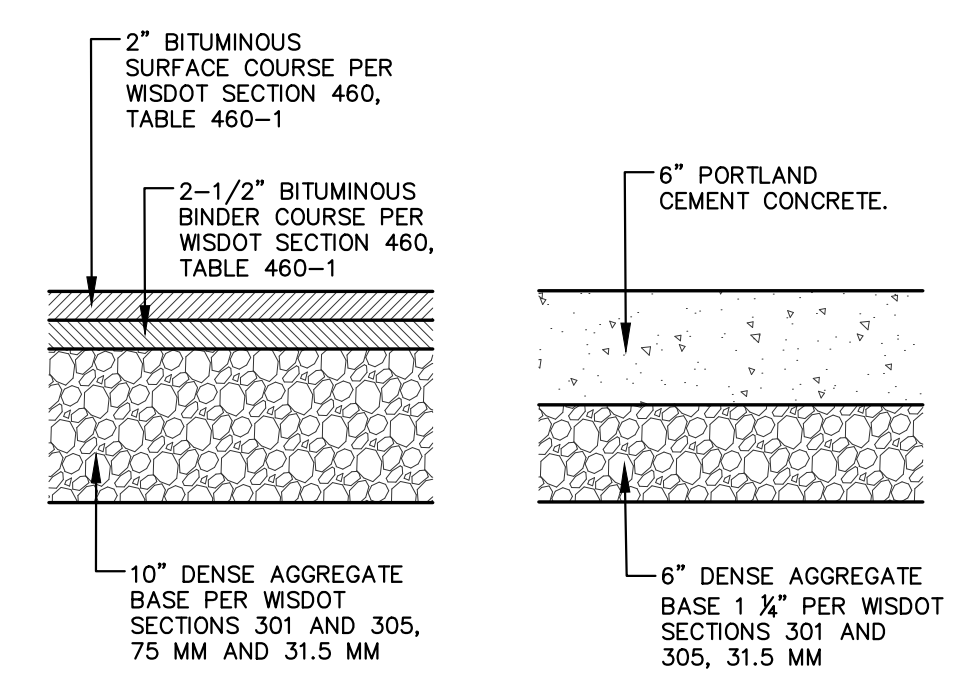
SHEET TITLE:  
**GRADING & EC PLAN**

SHEET NUMBER:  
**C3.0**

JSD PROJECT NO:

File: I:\SD\New projects\242414912\DWG\Civil Sheets\2414912 - ConDocs.dwg Layout: C3.0 Grading & EC User: mary.schmidbauer Plotted: Apr 14, 2026 - 11:01am Xref's:

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



**HEAVY DUTY ASPHALT PAVEMENT SECTION**  
**CONCRETE PAVEMENT SECTION**

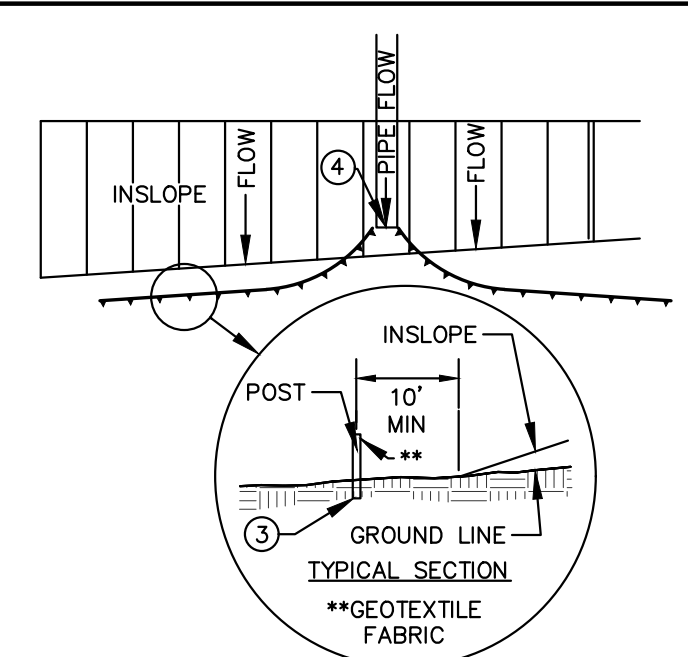
**GENERAL NOTES:**

- WSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTION REQUIREMENTS:
  - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
  - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.

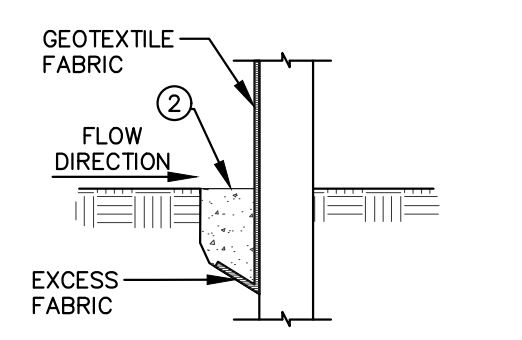
ALL PAVING SHALL CONFORM TO STATE HIGHWAY SPECIFICATIONS, APPLICABLE JURISDICTIONAL SPECIFICATIONS, AND THE GEOTECHNICAL REPORT IF PROVIDED.

\*\* FINAL PAVEMENT DESIGN TO BE DETERMINED BY OWNER BASED ON GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER OF RECORDS RECOMMENDATIONS AS SPECIFIED IN SAID GEOTECHNICAL REPORT.

**PAVEMENT SECTIONS**  
N.T.S.

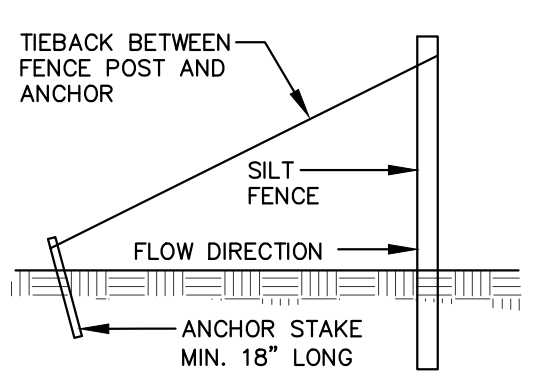
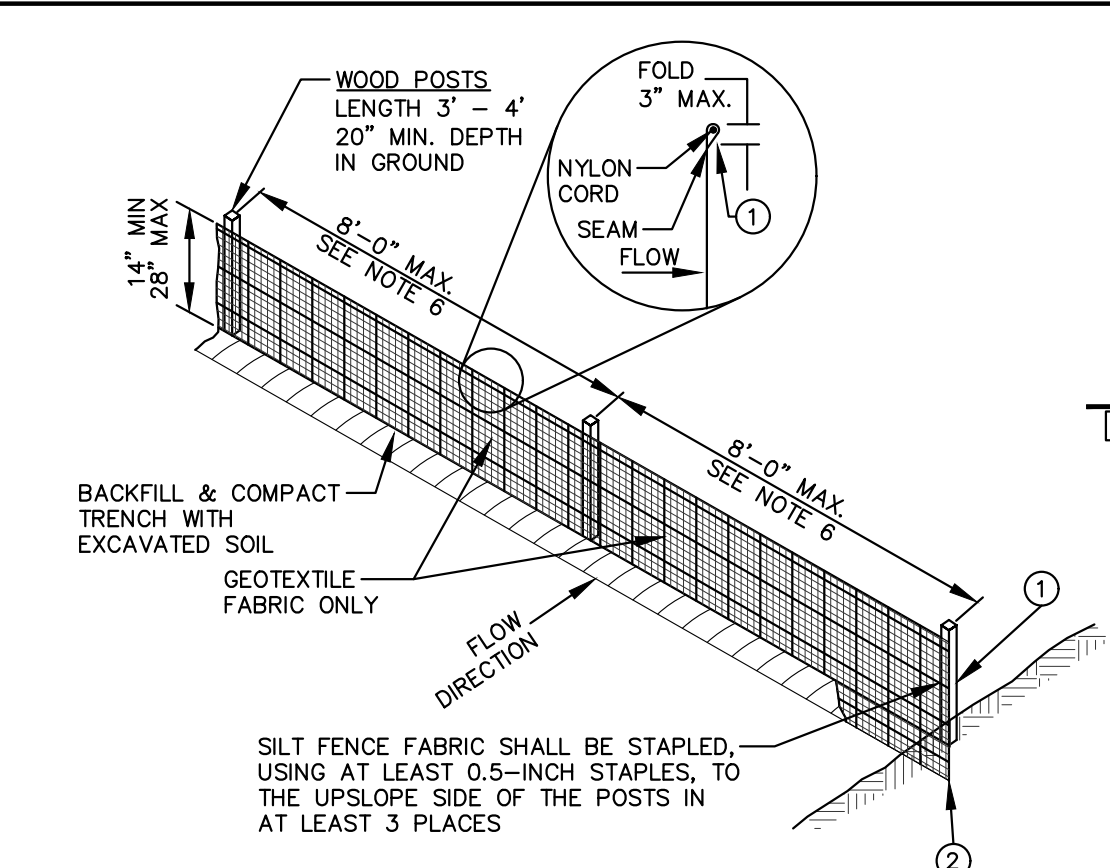


**SILT FENCE ALONG SLOPES & OUTFALLS**



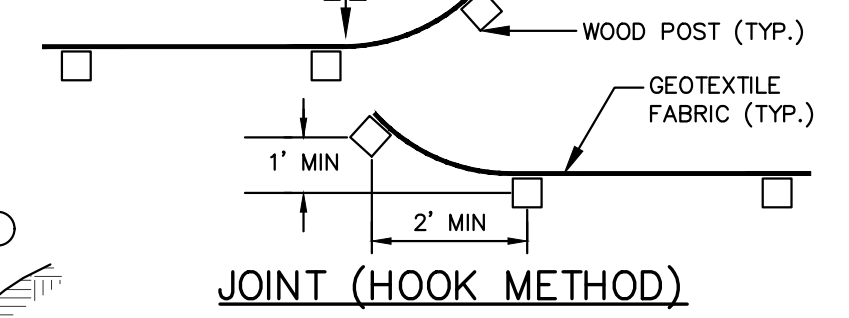
**NOTE:**  
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

**TRENCH DETAIL**

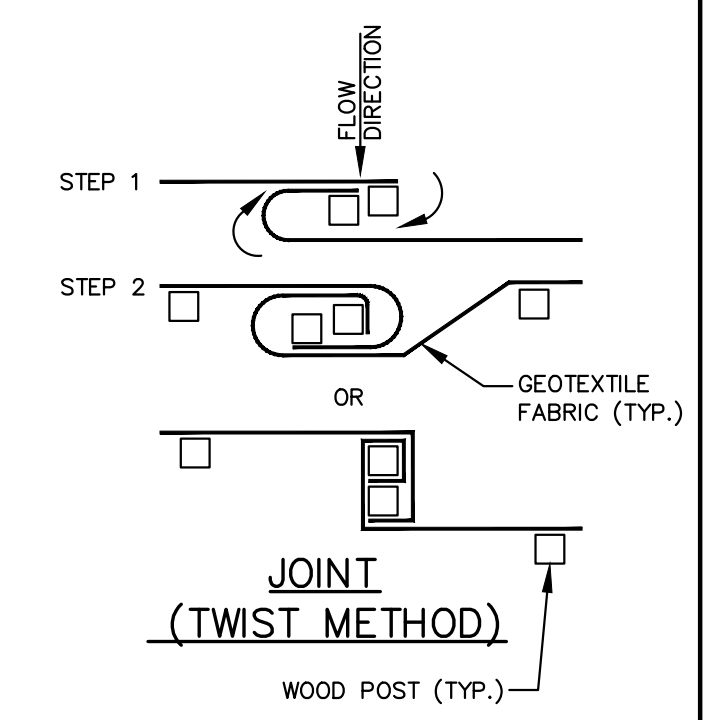


**SILT FENCE TIE BACK**  
(WHEN ADDITIONAL SUPPORT REQUIRED)

**SILT FENCE**  
N.T.S.



**JOINT (HOOK METHOD)**

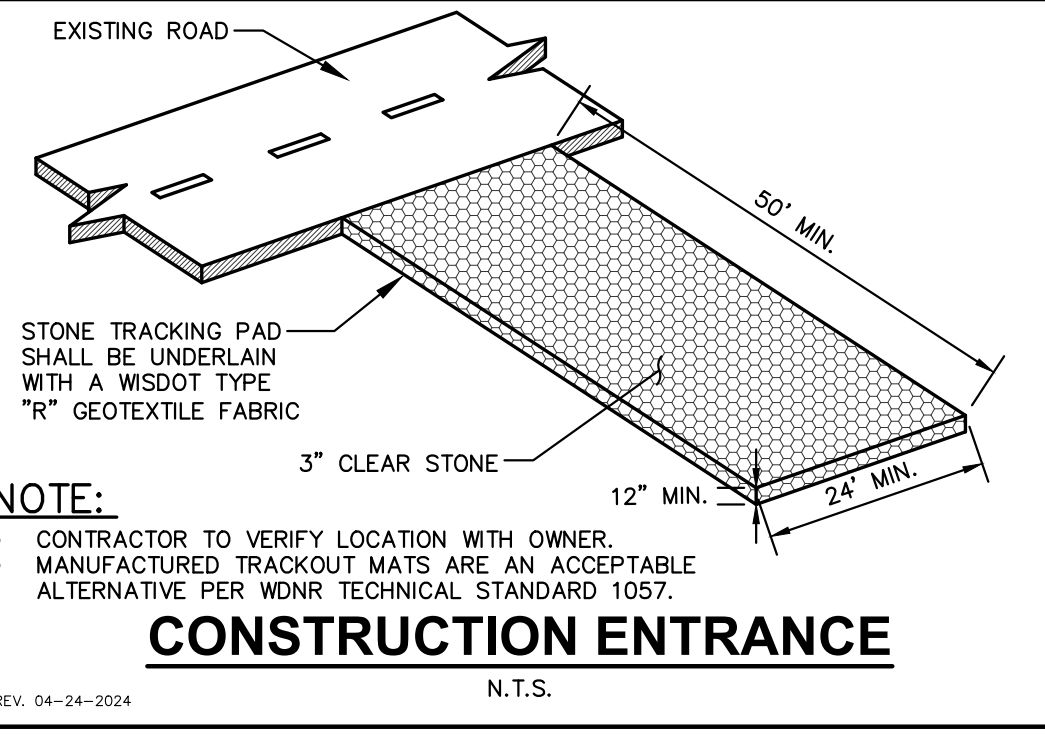


**GENERAL NOTES:**

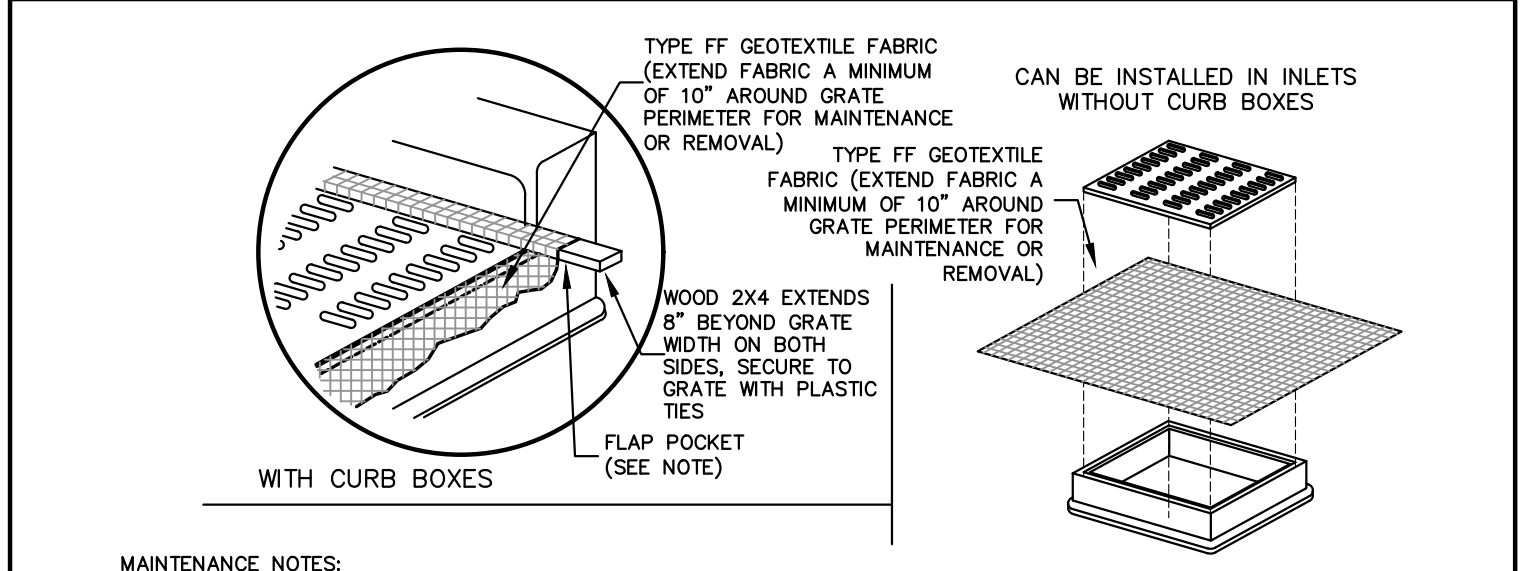
- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
- FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
- SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
- SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDNR TECHNICAL STANDARD 1056.
- POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8- FEET FOR WOVEN & 3- FEET FOR NON-WOVEN)

**EROSION CONTROL NOTES**

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS AND JURISDICTIONAL REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE, AND EXISTING INLET PROTECTION) PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE COVER. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS AND JURISDICTIONAL REQUIREMENTS. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE JURISDICTIONAL AUTHORITIES PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY JURISDICTIONS HAVING AUTHORITY AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5" ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRE-APPROVED BY THE JURISDICTION. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" SELECTED CRUSHED. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT OFF-SITE AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT, AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE JURISDICTIONAL AUTHORITIES.
- INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLETS OF ALL INSTALLED STORM SEWER. STONE DITCH CHECKS FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A TACKIFIER.
- DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE WDNR DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING PER STATE HIGHWAY SPECIFICATIONS OR APPLICATION OF A WSDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN SEVEN (7) DAYS OF REACHING FINAL GRADE. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING PER STATE HIGHWAY SPECIFICATIONS. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
- A CONCRETE WASHOUT AREA SHALL BE DESIGNATED ONSITE. CONTRACTOR SHALL USE PRE-MANUFACTURED ABOVE GROUND WASHOUT TOTE OR EQUIVALENT CONTAINMENT AREA FOR ALL CONCRETE WASTE. CONCRETE WASTE SHALL ONLY BE CONTAINED IN ABOVE GROUND PRE-FABRICATED CONTAINERS OR CONSTRUCTED CONTAINMENT AREA AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FREQUENTLY DISPOSE OF OFF-SITE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS TO MAINTAIN THE SYSTEMS EFFECTIVENESS.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
  - THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED OR IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
  - CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED (I.E., THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAY). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
- STABILIZATION MEASURES SHALL BE DETERMINED BASED ONSITE CONDITIONS WHEN CONSTRUCTION ACTIVITY HAS CEASED INCLUDING, BUT NOT LIMITED TO, WEATHER CONDITIONS AND LENGTH OF TIME THE MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
  - PERMANENT SEEDING: IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
  - TEMPORARY SEEDING: MAY CONSIST OF SPRING OATS(100LBS/ACRE) IN SPRING/SUMMER OR WHEAT OR CEREAL RYE (150LBS/ACRE) IN FALL
  - HYDRO-MULCHING WITH A TACKIFIER
  - WOVEN AND NON-WOVEN GEOTEXTILES
  - EROSION MATTING
  - SODDING
  - OTHER MEASURES AS APPROVED BY THE ENGINEER
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A CONTIGUOUS DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR REQUEST FOR PERMIT CLOSURE IN ACCORDANCE WITH JURISDICTION PERMIT AND SPECIFICATION REQUIREMENTS.



**CONSTRUCTION ENTRANCE**  
N.T.S.



**MAINTENANCE NOTES:**

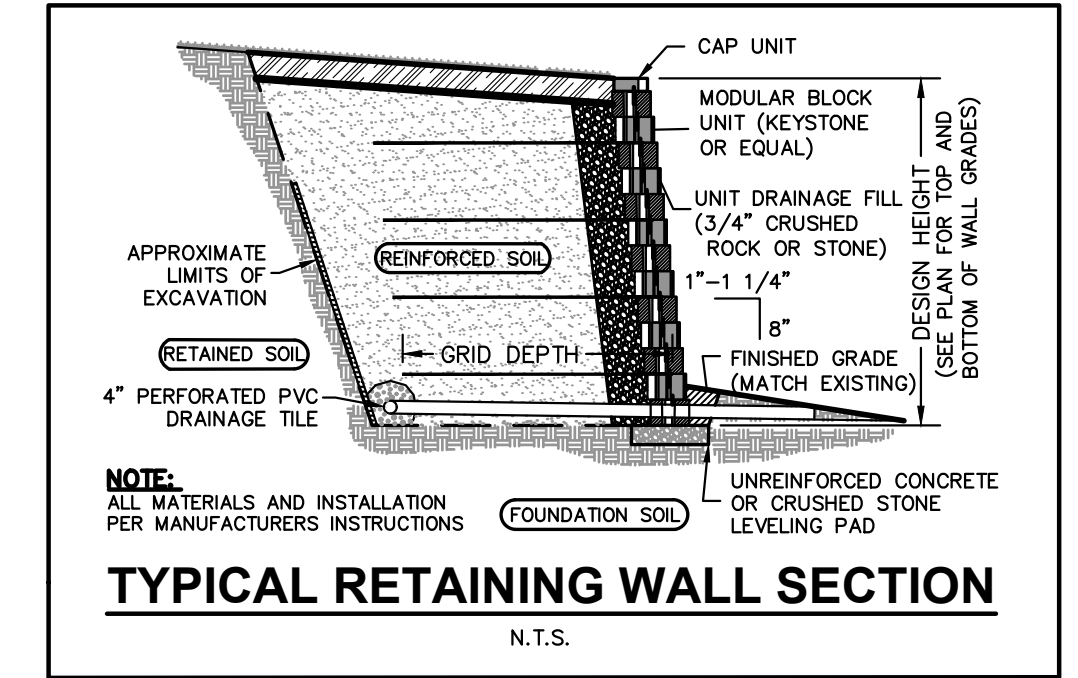
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.
- FILTER FABRIC SHALL HAVE THE FOLLOWING PROPERTIES:
  - GRAB STRENGTH: 100LBS. (ASTM D-3786)
  - MULLEN BURST: 200 PSI (ASTM D-3786)
  - EQUIVALENT OPENING SIZE: BETWEEN 50 AND 140 FOR SOILS WITH MORE THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE. BETWEEN 20 AND 50 FOR SOILS WITH LESS THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE.
  - WATER FLOW RATE OF 10 GAL/MIN./SQ.FT. AT 50 MM CONSTANT HEAD (ASTM D-4491)
  - ULTRA VIOLET RADIATION STABILITY OF 90% F. IF SUPPORT NETTING IS REQUIRED, NETTING SHALL BE AN INDUSTRIAL POLYPROPYLENE WITH A 3/4 INCH SPACING OR EQUIVALENT.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

**INLET PROTECTION TYPE D & C**  
PER WDNR TECHNICAL STANDARD 1060  
NOT TO SCALE

**CONSTRUCTION SEQUENCING**

- INSTALL PERIMETER SILT FENCE, INLET PROTECTION, AND CONSTRUCTION ENTRANCE.
- STRIP AND STOCKPILE TOPSOIL AND INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
- CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES.
- COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
- EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% CONTIGUOUS VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.



**TYPICAL RETAINING WALL SECTION**  
N.T.S.



CREATE THE VISION TELL THE STORY

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**MILWAUKEE REGIONAL OFFICE**  
W238 N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:  
**JAK ARCHITECTS**

CLIENT ADDRESS:  
**N16 W23217 STONE RIDGE CIRCLE, SUITE 300 WAUKESHA, WI 53188**

PROJECT:  
**STREETWORKS BUILDING ADDITION**

PROJECT LOCATION:  
**600 HICKORY STREET PEWAUKEE, WAUKESHA COUNTY WI, 53072**

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	04-14-26	PRELIMINARY CIVIL PLANS
2		
3		
4		
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9		
10		
11		
12		
13		
14		
15		

Designed By: CSF  
 Reviewed By: CAJ  
 Approved By: CAJ

SHEET TITLE:  
**DETAILS**

SHEET NUMBER:  
**C4.0**

JSD PROJECT NO:



1

2

3

4

5

6

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C

B

A

D

C

B

A



EXISTING PHOTO 1

- LOCATION OF NEW 10'H O.H. FIRE DOOR
- EXISTING 12'H DOOR TO BE REMOVED
- NEW MAN DOOR IN EXISTING OPENING



EXISTING PHOTO 2

- T.O. WALL: 14'
- EXISTING FIRE-RATED WALL
- 8'W WINDOWS TO BE REMOVED AND INFILLED FOR FIRE-RATED SEPARATION
- NEW MAN DOOR TO BE LOCATED IN EXISTING OPENING



EXISTING PHOTO 3

- CRACK IN FIRE-RATED WALL TO BE REPAIRED
- 6'-8" W WINDOW TO BE REMOVED, AND INFILLED FOR FIRE-RATED SEPARATION, TYP OF (2)

**DEMOLITION PLAN LEGEND**

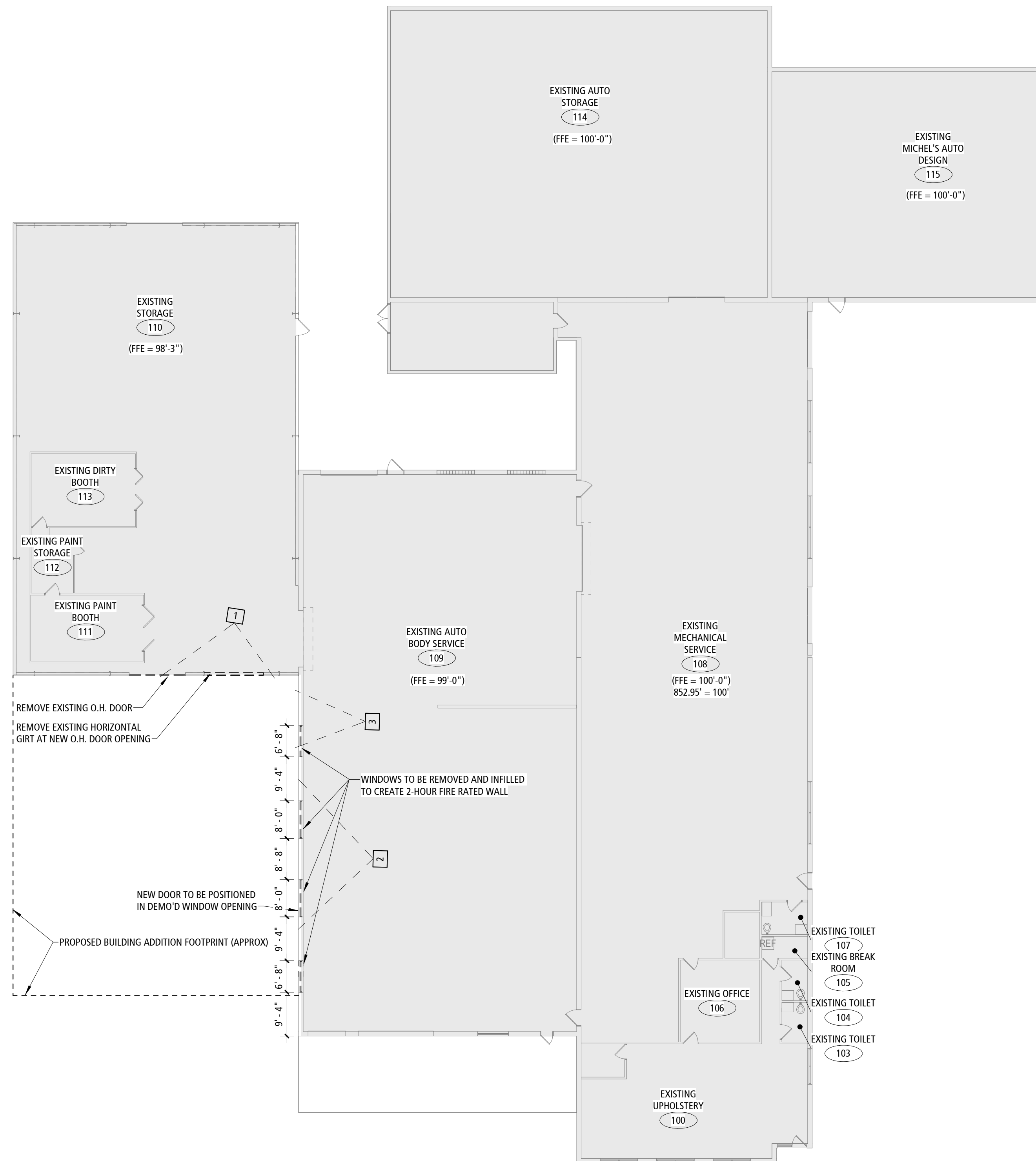
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED

**GENERAL NOTES - DEMOLITION**

- COORDINATE REMOVAL OF EXISTING CABINETS AND CASEWORK WITH OWNER. SALVAGE OR REMOVE AS DIRECTED.
- COORDINATE REMOVAL OF EXISTING DOORS, FRAMES, AND HARDWARE WITH OWNER. SALVAGE OR REMOVE AS DIRECTED.
- REFER TO ROOM FINISH SCHEDULE TO IDENTIFY ALL AREAS BEING ALTERED INCLUDING ROOMS WHERE ALTERATIONS ARE LIMITED TO NEW FINISHES. AT ALL ALTERED LOCATIONS, REMOVE ALL INTERIOR AND WALL MOUNTED ITEMS. REMOVE ALL FINISHES AND RESIDUAL GLUE. PREPARE SURFACES FOR NEW FINISH APPLICATION.
- SEE MEP AND HVAC PLANS (IF AVAILABLE) FOR ADDITIONAL DEMOLITION ITEMS AND NOTES. DESIGN / BUILD CONTRACTOR SHALL COORDINATE AND PERFORM WORK.
- PATCH AND REPAIR FLOOR IN PREPARATION FOR NEW FLOORING WHERE WALLS HAVE BEEN REMOVED.
- PATCH AND REPAIR CEILING GRID SYSTEM WHERE WALLS AND PARTITIONS HAVE BEEN REMOVED.

**KEYNOTES - DEMOLITION PLAN**

KEY	KEYNOTE DESCRIPTION
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23 OVERALL GROUND LEVEL DEMOLITION PLAN  
1/16" = 1'-0" 18 / A100



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WAUKESHA, WI 53188 | www.jaknetter.com  
office 262 513 9800 | fax 262 513 9815

PROJECT INFORMATION:  
**STREETWORKS EXOTICS  
BUILDING ADDITION**

600 HICKORY STREET  
PEWAUKEE, WI 53072

DRAWING ISSUANCE:  
**PLAN COMMISSION  
DRAWINGS**

REVISIONS

#	DATE	DESCRIPTION
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14 APRIL 2026

PROJECT NUMBER	PROJECT MANAGER
24033-00	JK

DEMOLITION FLOOR PLAN

AD100

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PROJECT INFORMATION:

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600 HICKORY STREET  
 PEWAUKEE, WI 53072

DRAWING ISSUANCE:

**PLAN COMMISSION  
 DRAWINGS**

REVISIONS

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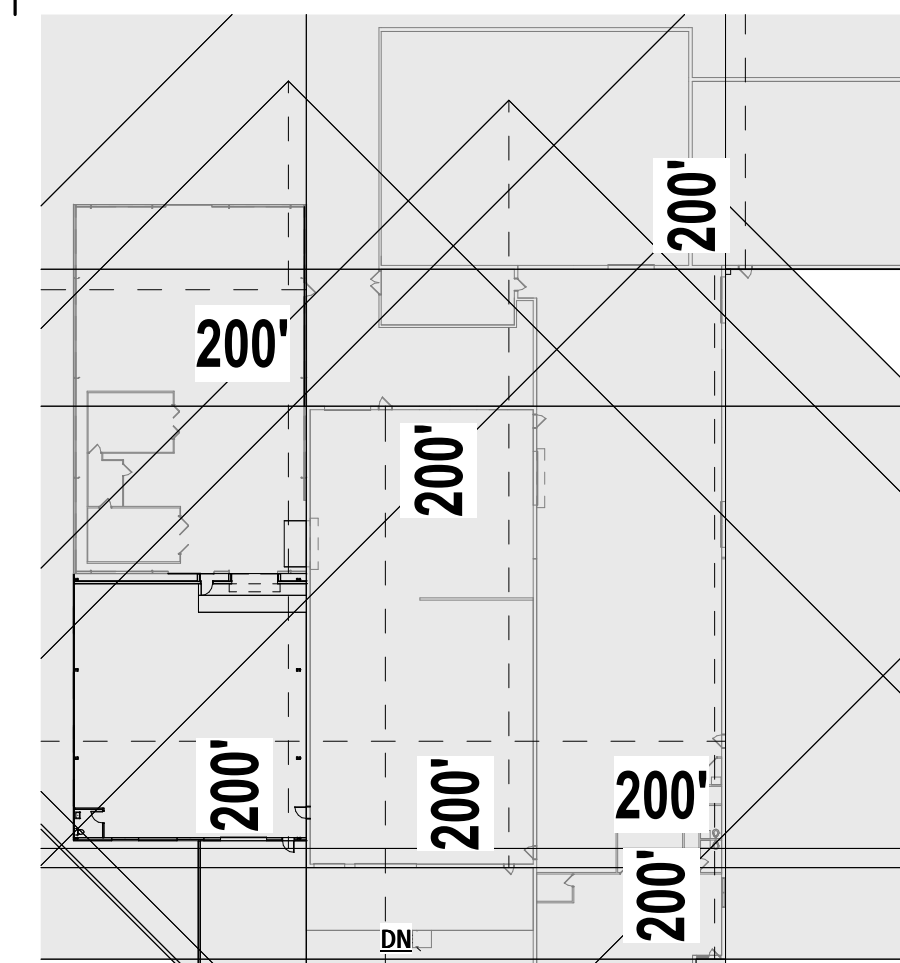
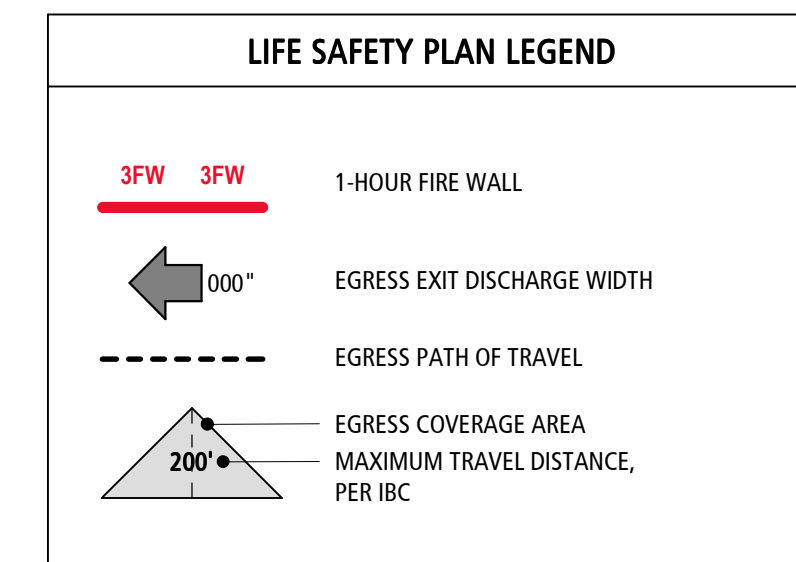
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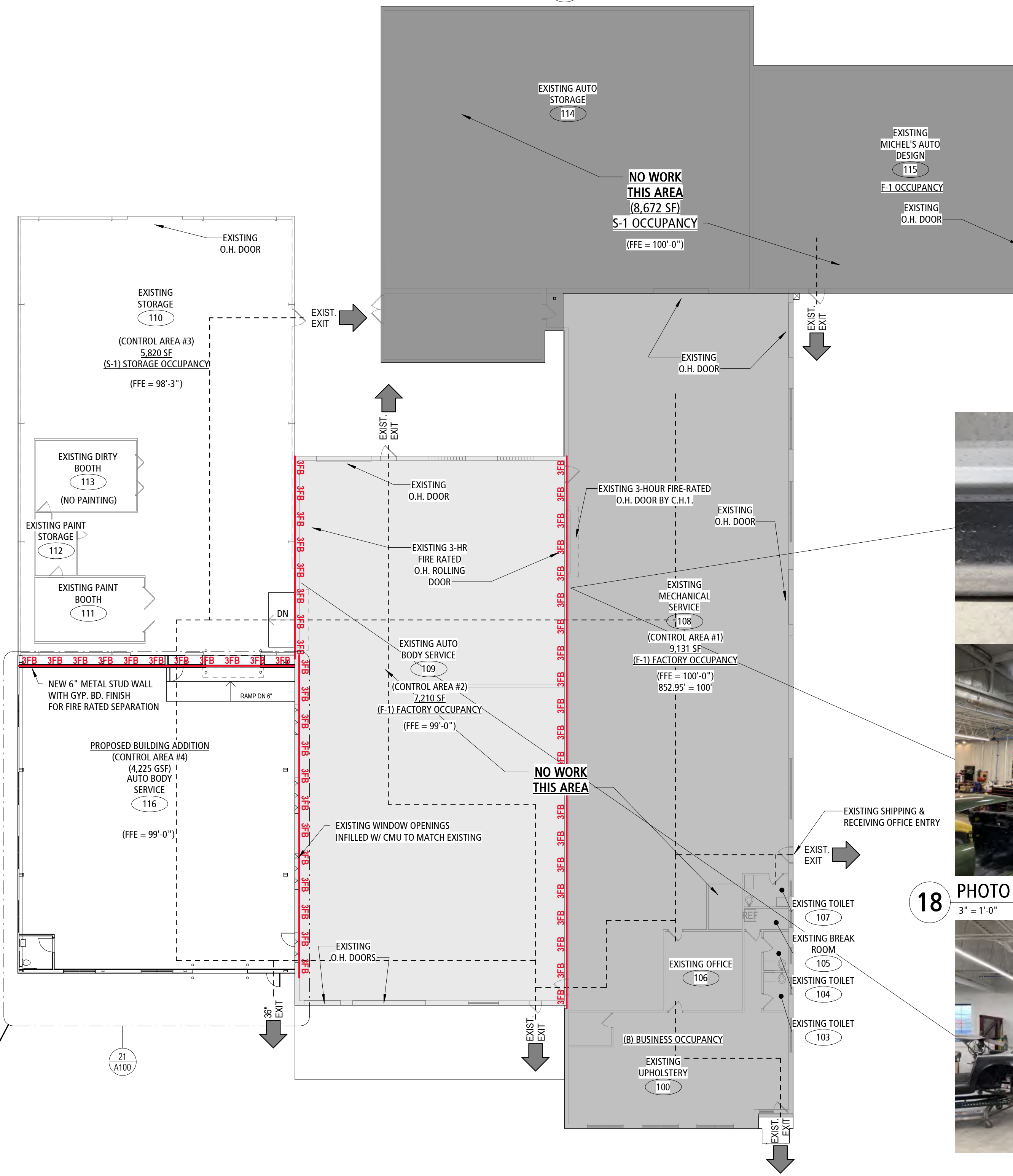
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**LIFE SAFETY PLAN**

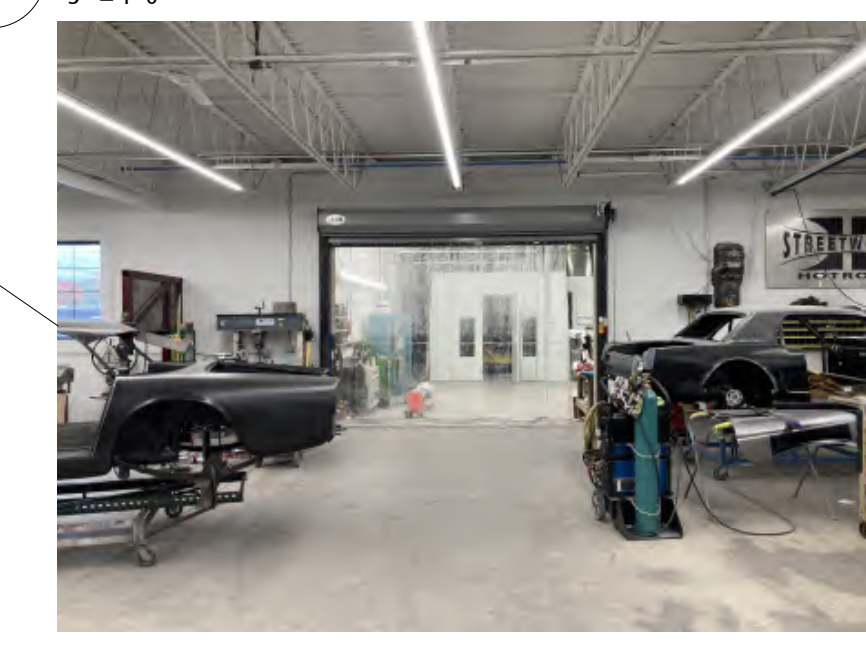
**A001**  
 LIFE SAFETY PLAN AREA



**7 OVERALL GROUND LEVEL EGRESS DIAGRAM PLAN**  
 1" = 50'-0" 18 / A100



**18 PHOTO OF 3-HR FIRE RATED O.H. DOOR**  
 3" = 1'-0"



**24 PHOTO OF 3-HR FIRE RATED O.H. DOOR SEPARATION TO PAINT BOOTH AREA**  
 3" = 1'-0"

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**19 OVERALL GROUND LEVEL FLOOR PLAN**  
 1/32" = 1'-0" 18 / A100

**22 OVERALL GROUND LEVEL FLOOR PLAN (LIFE SAFETY)**  
 1/16" = 1'-0" 18 / A100

**24 PHOTO OF 3-HR FIRE RATED O.H. DOOR SEPARATION TO PAINT BOOTH AREA**  
 3" = 1'-0"

1

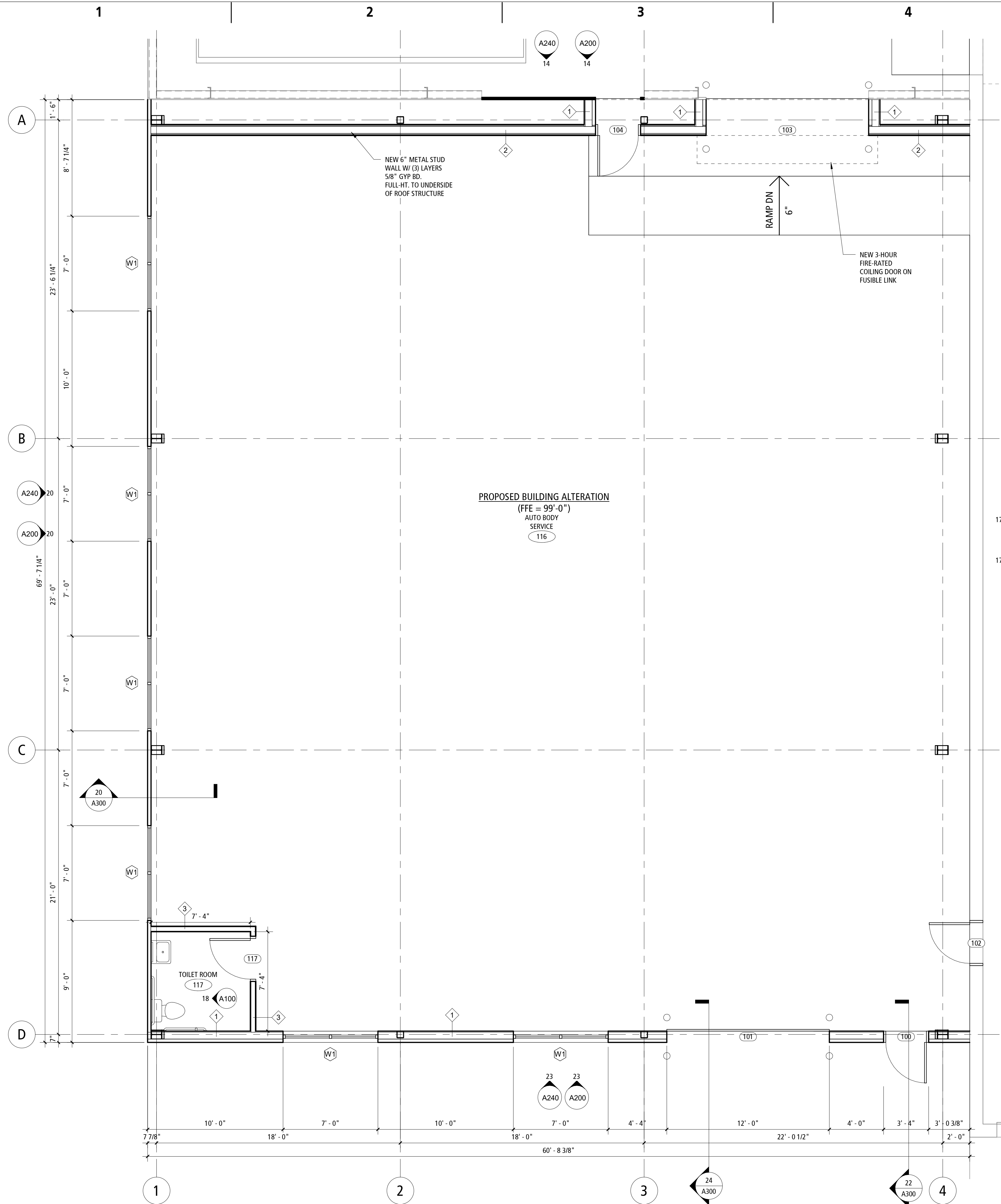
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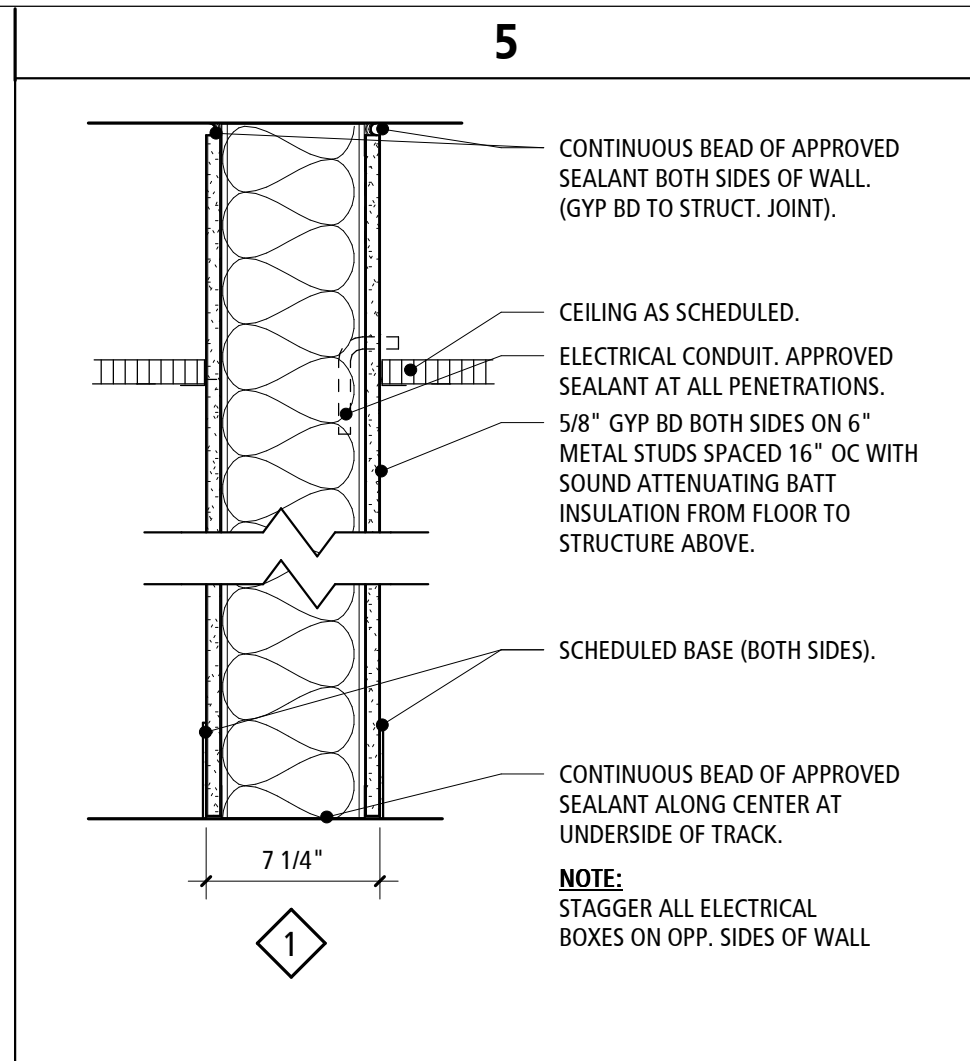
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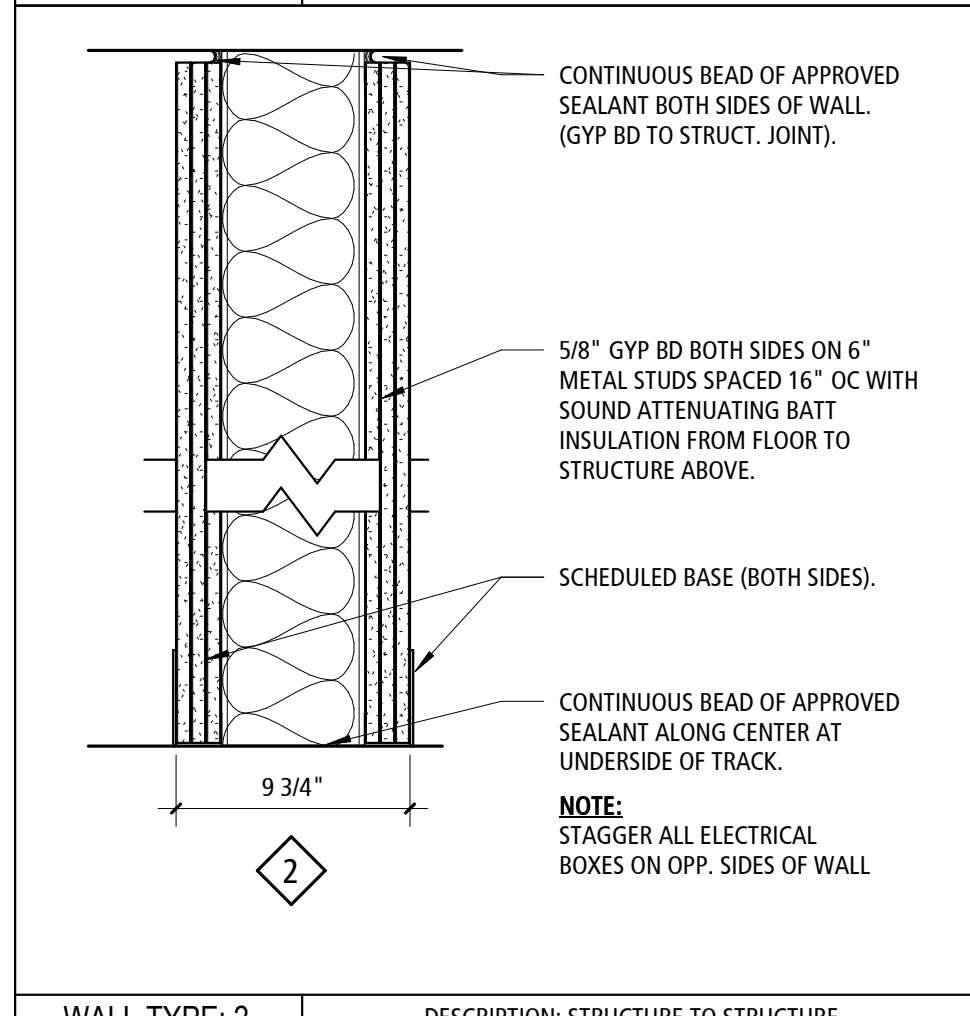
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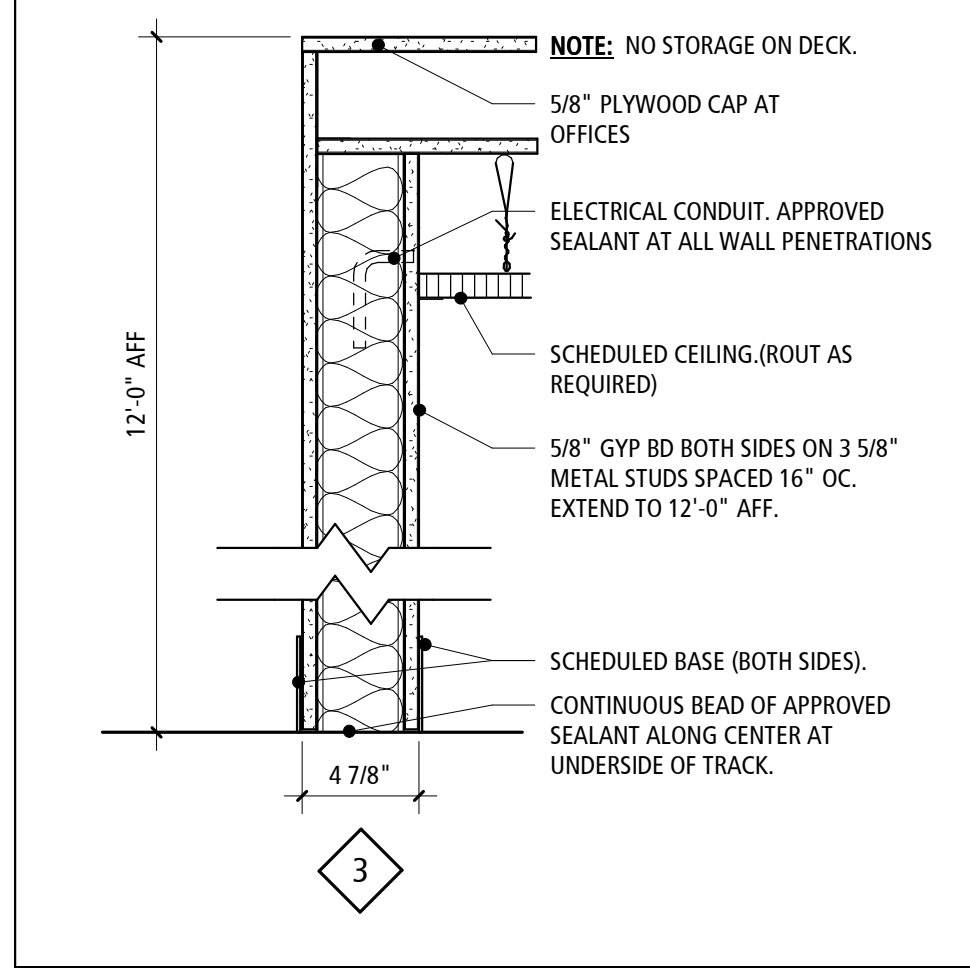
**21** PROPOSED BUILDING ADDITION FLOOR PLAN  
1/4" = 1'-0" 19 / A001



**WALL TYPE: 1** DESCRIPTION: STRUCTURE TO STRUCTURE  
<GENERAL LOCATION DESCRIPTION>



**WALL TYPE: 2** DESCRIPTION: STRUCTURE TO STRUCTURE  
UL - U419 3-HOUR FIRE BARRIER SEPARATION

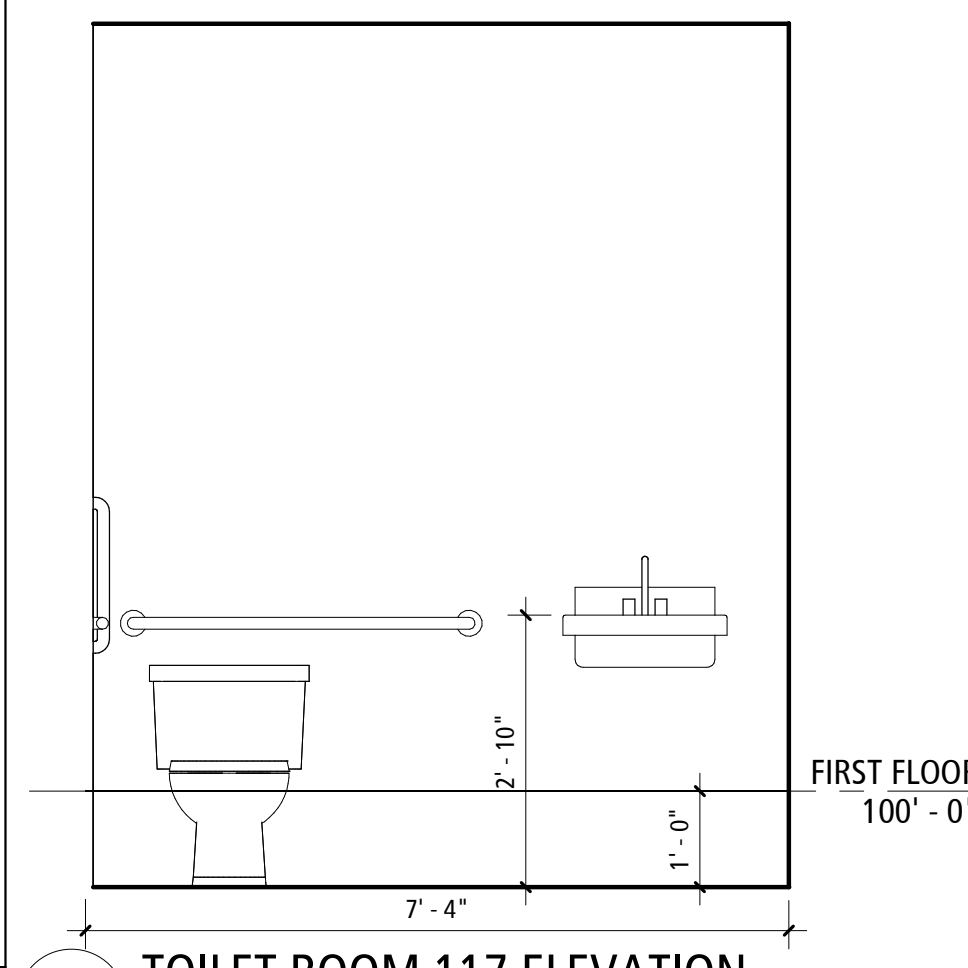


**WALL TYPE: 3** DESCRIPTION: CAPPED AT CEILING  
<GENERAL LOCATION DESCRIPTION>

**FLOOR PLAN LEGEND**

	EXISTING WALL TO REMAIN
	NEW WALL CONSTRUCTION
	EXISTING DOOR TO REMAIN
	DOOR - NEW CONSTRUCTION
	DOOR NUMBER - REFER TO DOOR SCHEDULE
	WALL TYPE - REFER TO SHEET A000
	KEYNOTE - REFER TO KEYNOTE LEGEND
	FIRE EXTINGUISHER (WALL / COLUMN J-HOOK CONNECTION)
	ACADEMY, CLEAR ALUMINUM, VERTICAL DUO, SEMI-RECESSED FIRE EXTINGUISHER CABINET BY SL INDUSTRIES OR EQUAL

- GENERAL NOTES - FLOOR PLAN**
- BEFORE BEGINNING WORK, INVESTIGATE AND VERIFY THE EXISTENCE AND LOCATION OF MECHANICAL AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
  - DIMENSIONS ON FLOOR PLANS ARE TO FINISH FACE OF WALLS UNLESS NOTED OTHERWISE.
  - VERIFY STRUCTURAL ELEMENTS INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING.
  - PROVIDE ALL FINISH SAMPLES TO OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION INCLUDING BUT NOT LIMITED TO CARPET, WALL COVERINGS, PAINT DRAW-DOWNS, VINYL BASE.
  - LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
  - PROVIDE BLOCKING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FACING MATERIALS, FIXTURES, SPECIALTY ITEMS, MILLWORK AND TRIM.
  - SEE ALL SHEETS FOR ADDITIONAL GENERAL NOTES.



**18** TOILET ROOM 117 ELEVATION  
1/2" = 1'-0" 21 / A100



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office 262 513 9800 | fax 262 513 9815

PROJECT INFORMATION:  
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BUILDING ADDITION**

600 HICKORY STREET  
PEWAUKEE, WI 53072

DRAWING ISSUANCE:  
**PLAN COMMISSION  
DRAWINGS**

REVISIONS

#	DATE	DESCRIPTION

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PROJECT NUMBER PROJECT MANAGER  
24033-00 JK

ENLARGED GROUND  
LEVEL FLOOR PLAN

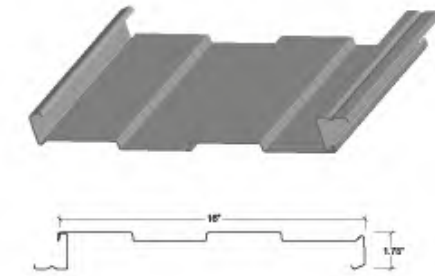
**A100**



**CONCEALED FASTENING SYSTEM**

**DESIGNER SERIES®**

The Designer Series® Fluted Panel creates a functional and flexible system to be used by a wide array of applications. It provides the toughness of metal while creating an attractive, flexible and functional wall or fascia panel. The Designer Series® Fluted Panel offers a continuous rib design with a hidden sidelap where the panels join together. Ribs are 4 inches wide and 1/4 inch deep, providing interesting shadow lines along the length of the wall. The panel legs are 1 1/4 inch deep, allowing ample space for rigid board, blanket or batt insulation in the cavity. One leg of the panel is attached to the structure and the other leg snaps securely into the adjoining panel to lock them into position for a clean look.

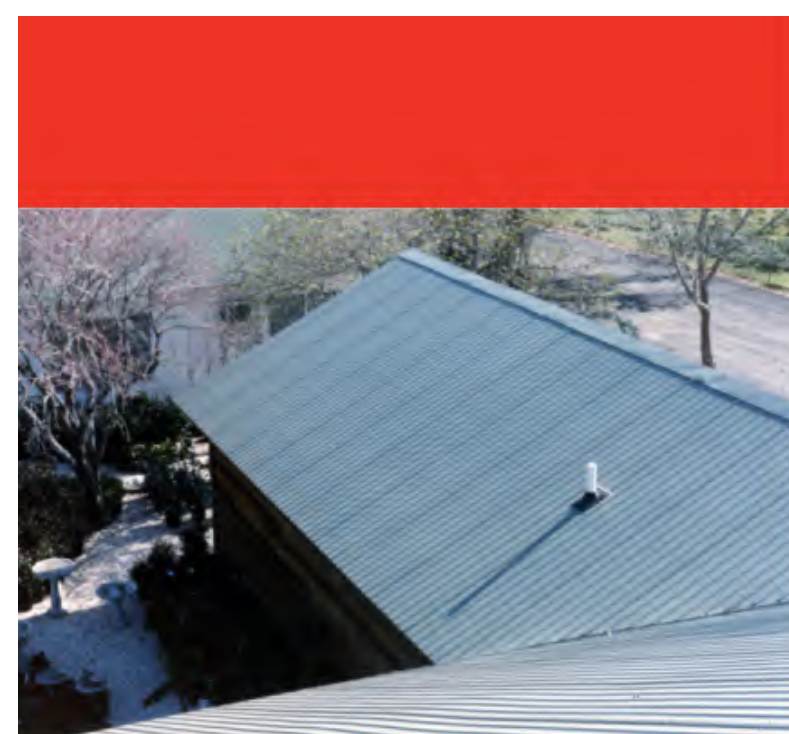


**PRODUCT SPECIFICATIONS**

**Applications:** Wall  
**Coverage Widths:** 16"  
**Panel Attachment:** Concealed Fastening System  
**Gauges:** 24 (standard); 22 (optional)

**Finishes:** Smooth (standard); Embossed (optional)  
**Coatings:** Galvalume® Plus, Signature® 200, Signature® 300, Signature® 300 Metallic

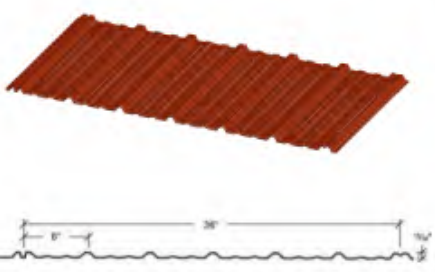
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**EXPOSED FASTENING SYSTEM**

**AMERI-DRAIN®**

Ameri-Drain® panel offers excellent water shedding for residential, light commercial, agricultural, and storage buildings. Suitable for both roof and wall applications, Ameri-Drain® panels must be installed over a solid waterproofed deck when used as a roof system.



**PRODUCT SPECIFICATIONS**

**Applications:** Roof and Wall  
**Coverage Widths:** 36"  
**Rib Spacing:** 6" on center  
**Rib Height:** 1 1/2"  
**Minimum Slope:** 3:12  
**Panel Attachment:** Exposed Fastening System

**Gauges:** 29 (standard); 26 (optional)  
**Finishes:** Smooth (standard)  
**Coatings:** Galvalume® Plus, Signature® 200

CATEGORY	CHARACTERISTIC	TEST METHOD	PURPOSE	RESULT
ENVIRONMENTAL	Impact Resistance	UL 2218	Determines Impact Resistance of prepared Roof Covering Materials	Class 4 Rating
FIRE RESISTANCE	Room Fire Performance	UL 790	Standard for Standard Test Methods for Fire Tests of Roof Coverings	See Class A Fire Rating Data Sheet
STRUCTURAL	Negative Wind Loads	ANSI S100	North American Specification for the Design of Cold-Formed Steel Structural Members	See Section Properties and Allowable Load Table Section
	Gravity Loads	ANSI S100	North American Specification for the Design of Cold-Formed Steel Structural Members	See Section Properties and Allowable Load Table Section

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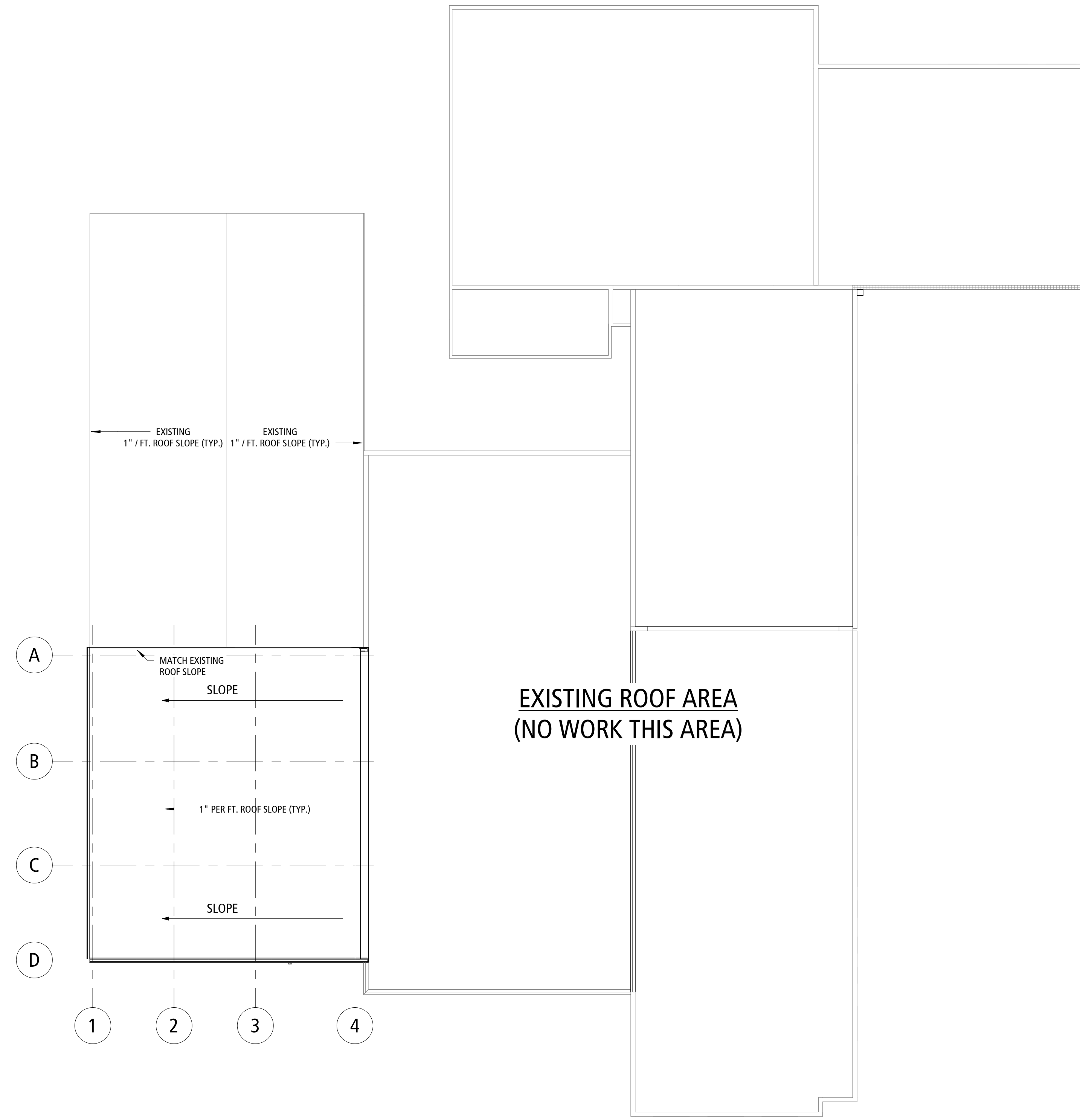
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FLOOR PLAN LEGEND	
	EXISTING WALL TO REMAIN
	NEW WALL CONSTRUCTION
	EXISTING DOOR TO REMAIN
	DOOR - NEW CONSTRUCTION
	DOOR NUMBER - REFER TO DOOR SCHEDULE
	WALL TYPE - REFER TO SHEET A000
	KEYNOTE - REFER TO KEYNOTE LEGEND
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	ACADEMY, CLEAR ALUMINUM, VERTICAL DUO, SEMI-RECESSED FIRE EXTINGUISHER CABINET BY SL INDUSTRIES OR EQUAL

GENERAL NOTES - FLOOR PLAN	
1.	BEFORE BEGINNING WORK, INVESTIGATE AND VERIFY THE EXISTENCE AND LOCATION OF MECHANICAL AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
2.	DIMENSIONS ON FLOOR PLANS ARE TO FINISH FACE OF WALLS UNLESS NOTED OTHERWISE.
3.	VERIFY STRUCTURAL ELEMENTS INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING.
4.	PROVIDE ALL FINISH SAMPLES TO OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION INCLUDING BUT NOT LIMITED TO CARPET, WALL COVERINGS, PAINT DRAW-DOWNS, VINYL BASE.
5.	LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
6.	PROVIDE BLOCKING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FACING MATERIALS, FIXTURES, SPECIALTY ITEMS, MILLWORK AND TRIM.
7.	SEE ALL SHEETS FOR ADDITIONAL GENERAL NOTES.

KEYNOTES - FLOOR PLAN	
KEY	KEYNOTE DESCRIPTION



**22 OVERALL ROOF PLAN**  
 1/16" = 1'-0" 14 / A200



N16 W23217 STONE RIDGE DRIVE, SUITE 300  
 WAUKESHA, WI 53188 | www.jaknetter.com  
 office 262 513 9800 | fax 262 513 9815

**PROJECT INFORMATION:**  
**STREETWORKS EXOTICS BUILDING ADDITION**

**600 HICKORY STREET PEWAUKEE, WI 53072**

**DRAWING ISSUANCE:**  
**PLAN COMMISSION DRAWINGS**

REVISIONS		
#	DATE	DESCRIPTION

**14 APRIL 2026**  
 PROJECT NUMBER 24033-00 PROJECT MANAGER JK

**OVERALL ROOF PLAN**

**A120**

© JAKnetter Architects





**2** 3D PERSPECTIVE 1  
12" = 1'-0"



**5** 3D PERSPECTIVE 2  
12" = 1'-0"



N16 W23217 STONE RIDGE DRIVE, SUITE 300  
WAUKESHA, WI 53188 | www.jaknetter.com  
office 262 513 9800 | fax 262 513 9815

PROJECT INFORMATION:

**STREETWORKS EXOTICS  
BUILDING ADDITION**

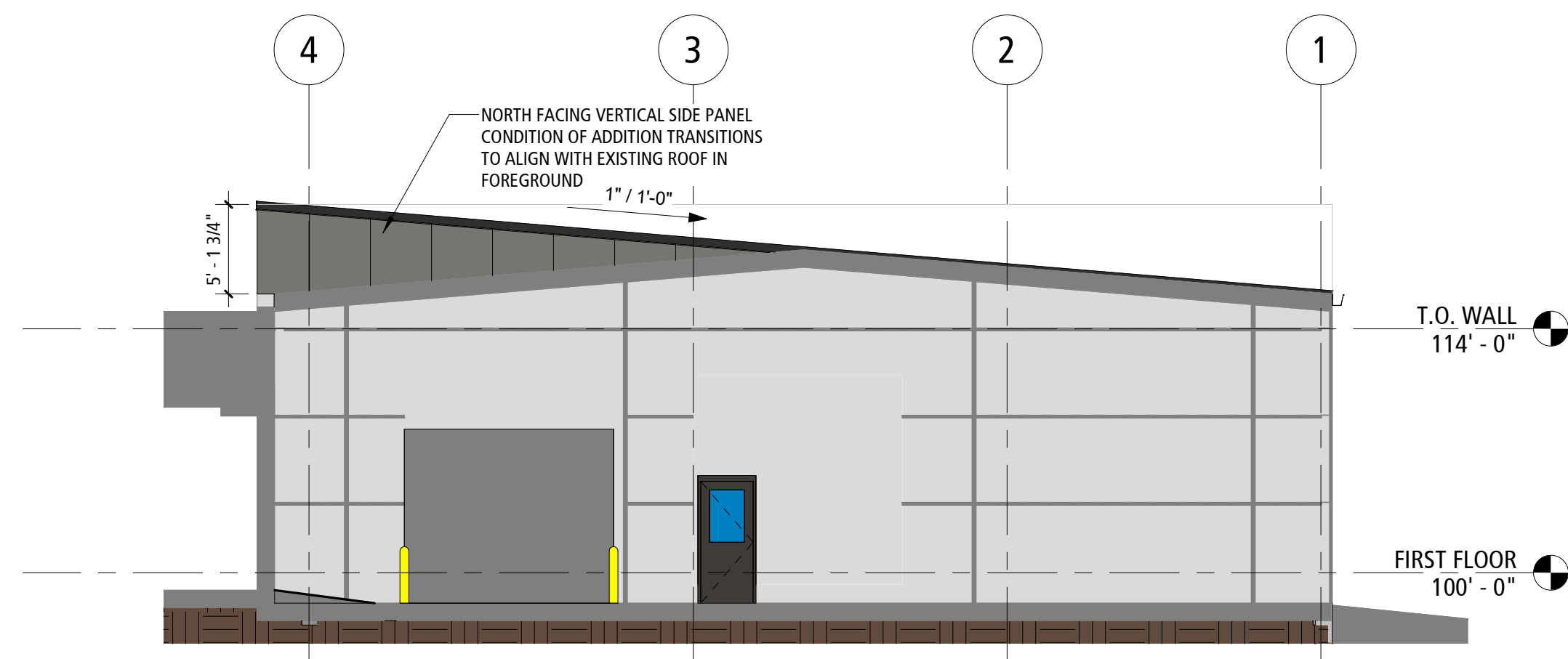
**600 HICKORY STREET  
PEWAUKEE, WI 53072**

DRAWING ISSUANCE:

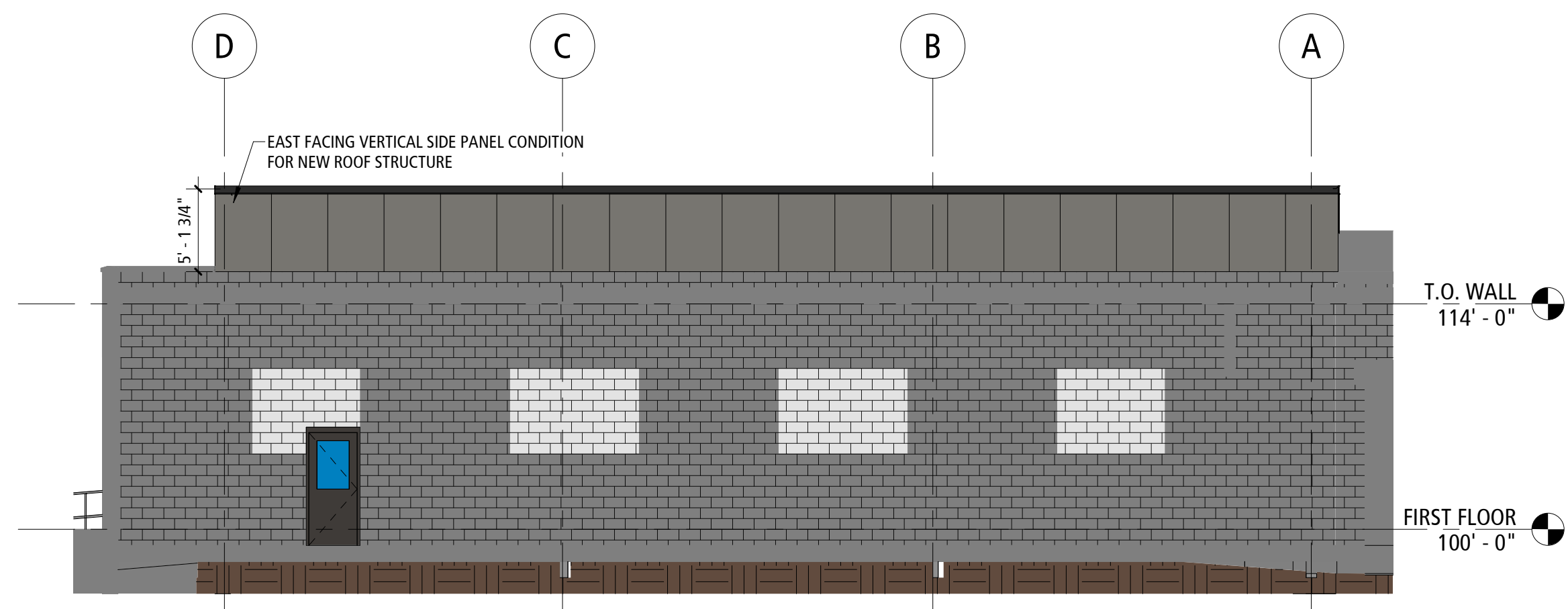
**PLAN COMMISSION  
DRAWINGS**

REVISIONS

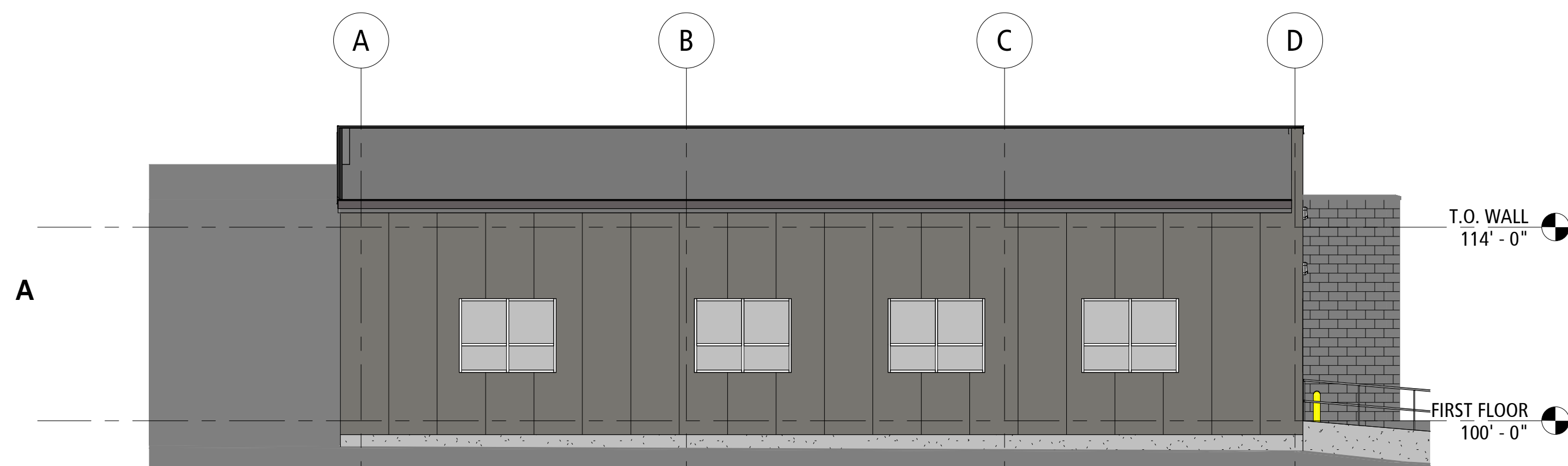
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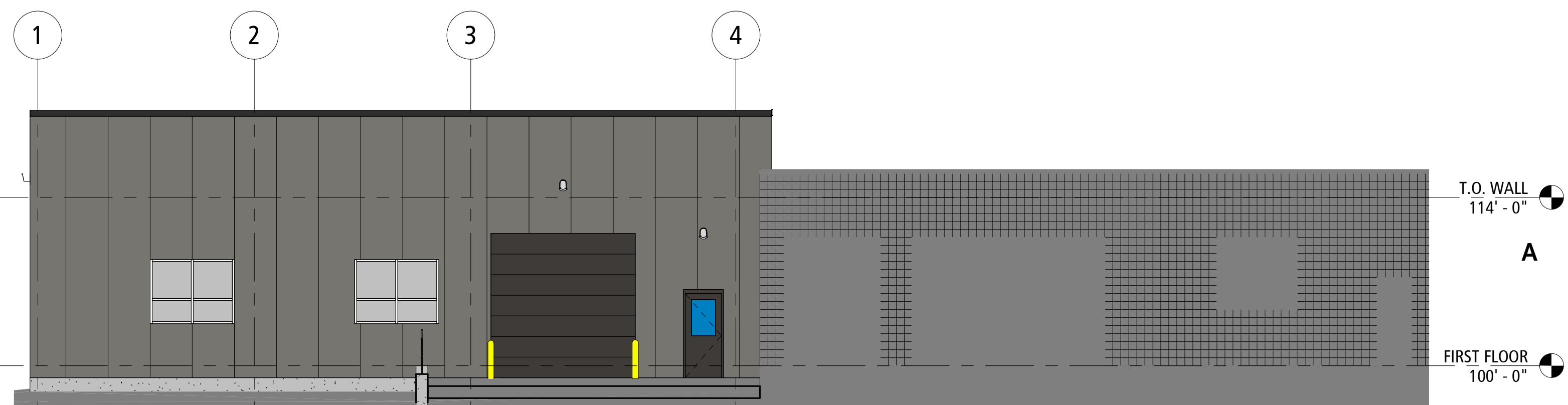
**14** NEW NORTH EXTERIOR COLOR ELEVATION VIEW  
1/8" = 1'-0" 21 / A100



**17** NEW EAST EXTERIOR COLOR ELEVATION VIEW  
1/8" = 1'-0" 21 / A100



**20** NEW WEST EXTERIOR COLOR ELEVATION VIEW - BUILDING ADDITION  
1/8" = 1'-0" 21 / A100



**23** NEW SOUTH EXTERIOR COLOR ELEVATION VIEW - BUILDING ADDITION  
1/8" = 1'-0" 21 / A100

**14 APRIL 2026**

PROJECT NUMBER PROJECT MANAGER  
**24033-00 JK**

**COLOR BUILDING  
ADDITION  
ELEVATIONS**

**A240**

© JAKnetter Architects

PROJECT INFORMATION:

**STREETWORKS EXOTICS  
 BUILDING ADDITION**

600 HICKORY STREET  
 PEWAUKEE, WI 53072

DRAWING ISSUANCE:

**PLAN COMMISSION  
 DRAWINGS**

REVISIONS

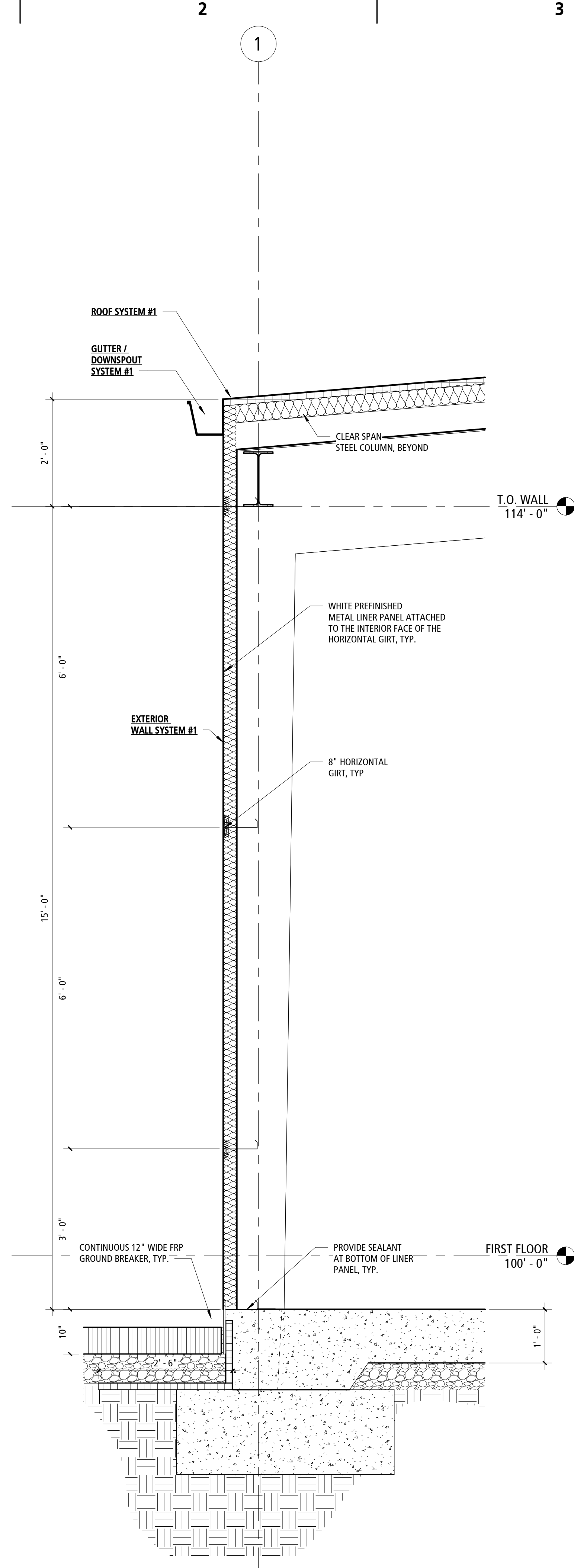
#	DATE	DESCRIPTION

14 APRIL 2026

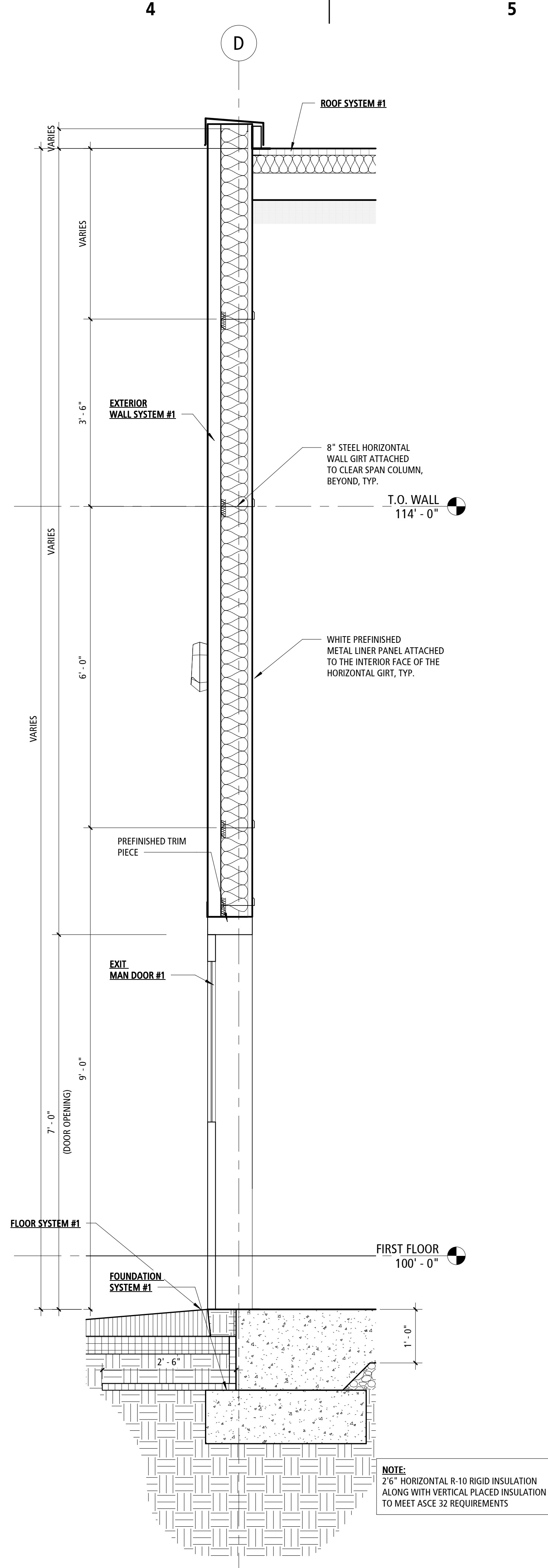
PROJECT NUMBER PROJECT MANAGER  
 24033-00 JK

WALL SECTIONS

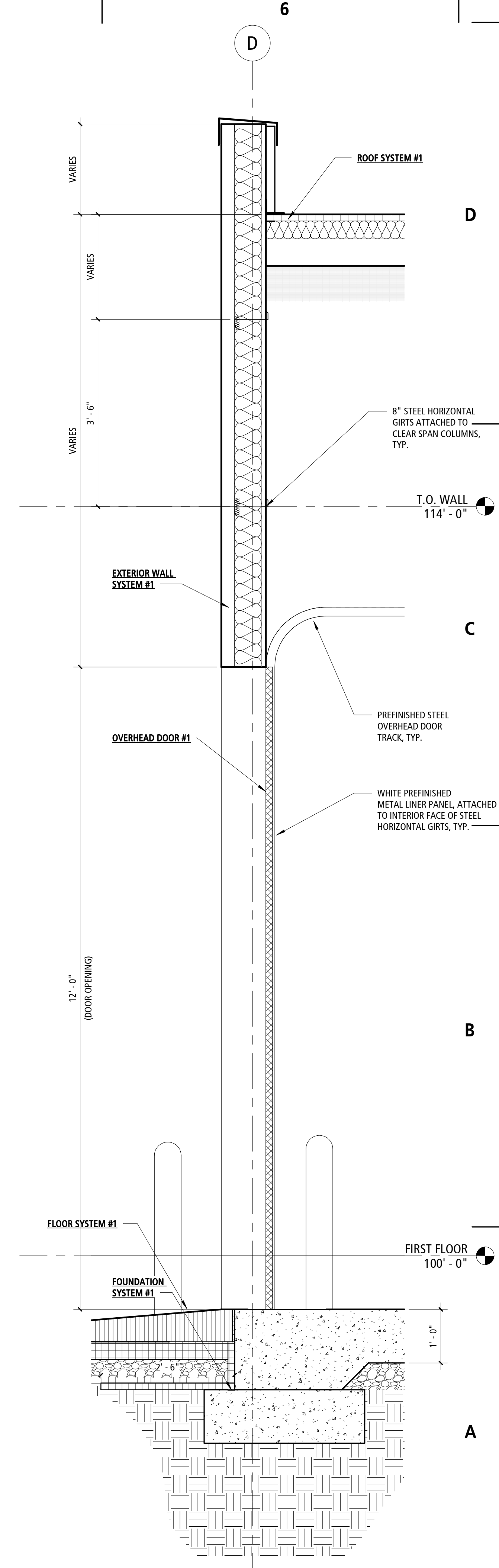
**A300**



**20** WALL SECTION - WEST  
 3/4" = 1'-0" 21 / A100



**22** WALL SECTION - SOUTH 2  
 3/4" = 1'-0" 21 / A100



**24** WALL SECTION - SOUTH 1  
 3/4" = 1'-0" 21 / A100

TO: Village of Pewaukee Plan Commission  
CC: Matt Heiser – Village Administrator, Jenna Peter - Clerk  
FROM: Mark Lyons, Planning Consultant  
RPT DATE: September 3, 2025  
MTG DATE: September 11, 2025  
RE: 5e –Pewaukee School District Business Site Plan

**BACKGROUND:**

1. Petitioner: Pewaukee School District
2. Property Owner: Pewaukee School District
3. Location/Address: 404 Lake Street
4. Tax Key Number: PWV 0899234004
5. Area: ~4.205 AC
6. Existing Zoning: Institutional and Public Service District
7. Proposed Zoning: N/A

**OVERVIEW:**

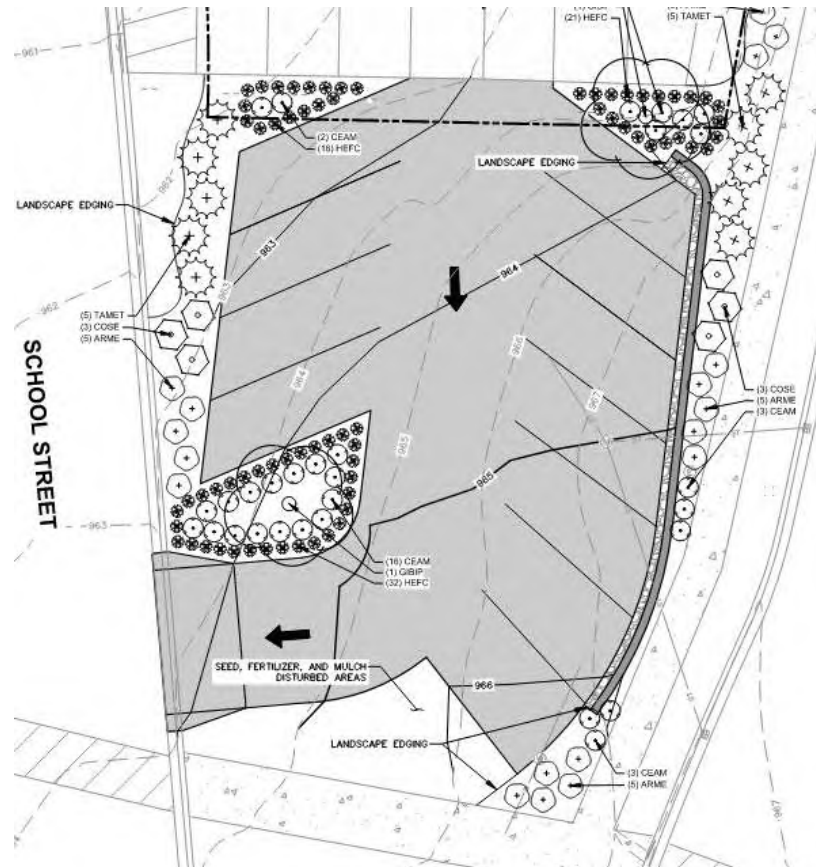
The Petitioners are requesting approval of a Business Site Plan to construct an 11-space parking lot south of an existing parking lot located between School Street and Lake Street. The adjoining streets are both private roads and are part of the larger parcel in which the parking lot is proposed.

**SUBMITTAL:**

The enclosed submittal includes the application, GIS map and supplemental documentation.

**PLANNER COMMENTS:**

1. **Zoning Requirements:** Section 40.438 requires Plan Commission to approve site plans for institutional properties. The proposed parking lot would meet the requirements for Plan Commission approval. The proposed parking lot meets the ordinance requirements for setbacks as the parcel contains a larger area including the adjoining private streets.
2. **Business Site Plan:** The applicant is proposing to add 11-parking stalls south of an existing parking lot and within School District owned property. The proposed parking lot is one-way from the adjoining lot to the north with the exit drive on the southwest corner of the new parking lot.
3. **Landscaping:** The proposed site plan includes significant landscaping around the parking lot, including a mixture of trees, shrubs and perennials / grasses. The landscaping as submitted exceeds the ordinance requirements for parking lot landscaping.



**ENGINEER COMMENTS:**

The Village engineer has reviewed the proposed plan and those comments are attached as part of this report.

**Department of Public Works Comments:**

The Department of Public Works has reviewed the proposed plan and offered the following recommendations:

1. In accordance with Village of Pewaukee Ordinance 40.458 which references Waukesha County storm water Ordinance 14-333: Unless other exempted in this ordinance, a storm water permit under section 14-334 shall be required and all storm water management shall apply that meet any of the following:
  - (b)(2): is a certified survey map or other land development activity that may ultimately result in the addition of 0.5 acres or greater of impervious surfaces that did not exist prior to May 28, 1998, including smaller individual sites that are part of a common plan of development that may be constructed at different times.
    - a. List disturbance area and additional proposed impervious area on drawing. If this information is listed, please disregard.

**STAFF RECOMMENDATION:**

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

The Village of Pewaukee Plan Commission **Approves** the Business Site Plan Request for Pewaukee School District for the property located at **404 Lake Street**, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of May 14, 2026 are met.
2. Parking lot shall be developed in accordance with the Plans as submitted and approved by Plan Commission on May 14, 2026.
3. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission and Board, Village Engineer and Village Planner for the site plan, and other documentation.
4. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
5. Fire Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village of Pewaukee Fire Department Chief (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village of Pewaukee Fire Department Chief (or designee), if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of fire safety of any structure on the property, or as proof of compliance with any particular fire safety standard that would apply to new construction. The petitioner shall independently determine the fire safety and suitability of all structures on the property for the petitioner's intended uses.
6. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Business Site Plan approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
7. The Property Owner shall keep the exterior condition of the premises in a neat and orderly condition at all times so the premises will not detract from neighboring premises. There shall be no outside storage of junk, debris, construction material, or other refuse materials within the property and all such materials shall be disposed of promptly and properly.
8. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
9. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
10. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

**EXHIBIT:**

- A. GIS Property Location Map



## Staff Review

- B. Petitioner Application.
- C. Supplemental documents.



CREATIVITY BEYOND ENGINEERING

**DATE:** May 5, 2026

**TO:** Village of Pewaukee Plan Commission

**FR:** Jake Scholbe, P.E. – Village Consulting Engineer

**CC:** Matt Heiser – Village Administrator  
Jenna Peter - Village Clerk  
Mark Lyons – Village Planner  
Matt Gralinski – Village Attorney  
Dave Buechl – Director of Public Works/Engineer

**RE:** Pewaukee School District Parking Lot Expansion - Site Plan Review  
404 Lake Street, Pewaukee, WI 53072

## **Report**

The applicant proposes to modify and expand the existing parking lot located between School Street and Lake Street to improve the safety of student drop off at the north end of Pewaukee Lake Elementary. The project is located on tax parcel PWV 0899235004. A complete set of civil engineering plans has been submitted for review.

Site Plan: The project includes construction of an expanded parking area along with a retaining wall along the east perimeter of the parking area and existing sidewalk along Lake Street. A separate driveway will be constructed to allow vehicles to exit on School Street.

Access: Vehicular access throughout the existing parking lot will be improved by adding a one-way drive aisle and a separate exit at the proposed parking expansion area.

Site Grading and Drainage: The existing drainage patterns of the site will generally not be altered. A retaining wall will be added to the east edge of the parking area. The wall appears to have a maximum of height of less than 3 feet.

Sanitary Sewer and Water: Construction is not anticipated to impact existing private sanitary or water utilities.

Stormwater Management: The project will result in approximately 4,042 square feet of additional impervious surface, with total site disturbance less than one acre. As such, stormwater management is not required.

Erosion Control: General erosion control notes are included in the plan set and perimeter control devices are included along the downstream portion of the project, along School Street. A rock tracking pad is also proposed to limit sediment tracking onto the adjacent roadway.

## **Recommendation**

I recommend approval of the site civil plans (Sheets C1.0–C4.0), prepared by JSD Professional Services, Inc. and dated April 9, 2025, subject to staff satisfaction of the following comments:

### **General Comments**

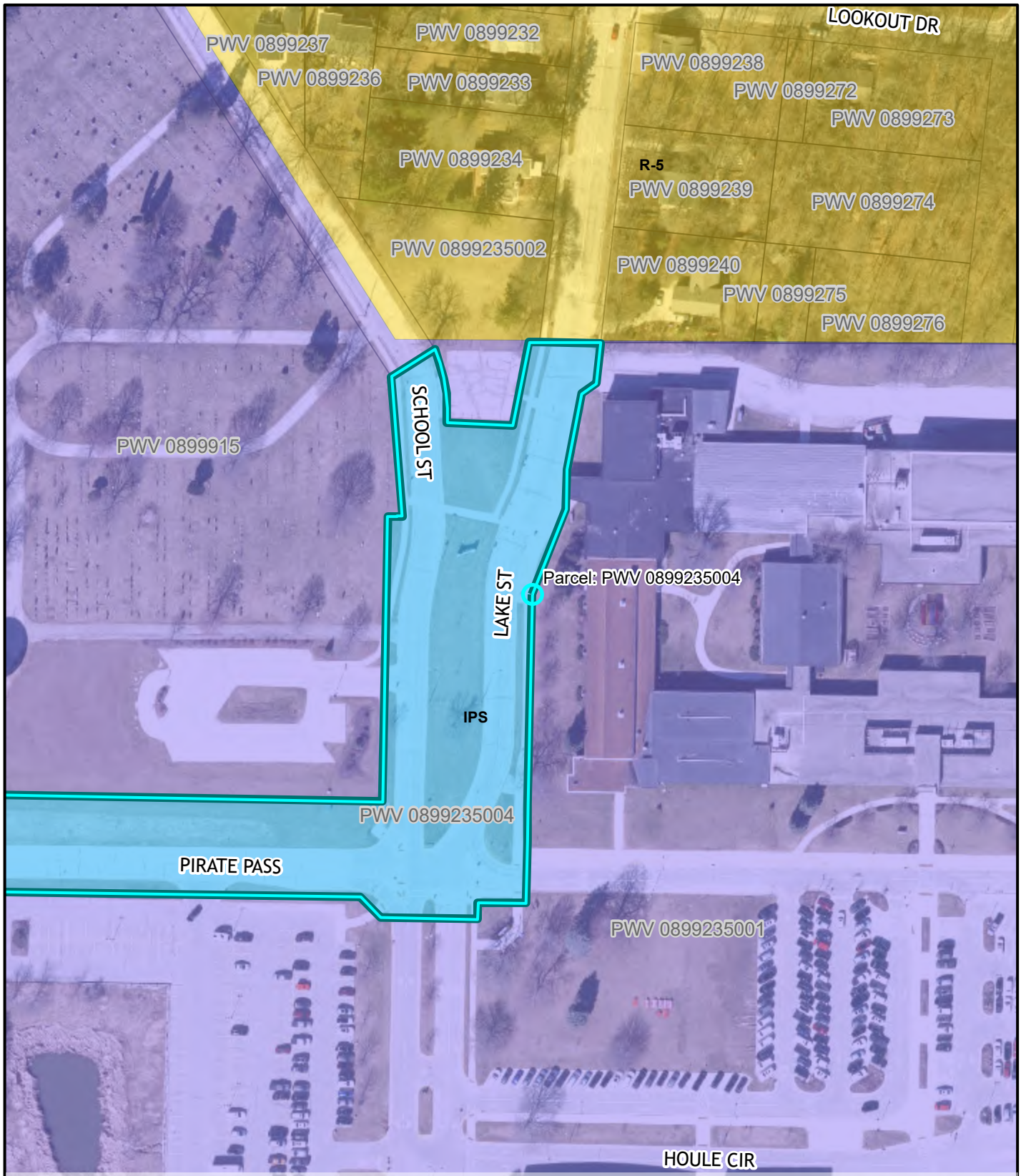
1. Final plans shall be stamped by a licensed engineer in the state of Wisconsin.

### **Sheet C3.0 – Grading Plan**

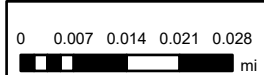
2. Provide pipe sizes and inverts for the existing manhole that is proposed to be lowered to verify that the structure will still have sufficient cover over the existing pipes.
  - a. In addition, this manhole is proposed to be lowered by over 2 feet. The engineer shall verify that the existing manhole can accommodate the proposed rim elevation without being replaced or reconstructed. In the event the manhole needs to be replaced or reconstructed; manhole details shall be provided in the final plans to clarify the extent of the utility work.



# 404 Lake Street Zoning Map



SEWRPC, Waukesha County Land Information Office, SE Wisc Reg Planning Comm, Microsoft, Vantor



1" = 131'  
1:1,571

Village of Pewaukee  
235 Hickory Street  
Pewaukee, WI 53072  
262-691-5660

Notes  
None

DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



# BUSINESS SITE PLAN APPLICATION FORM

235 Hickory St, Pewaukee WI 53072 - villagehall@villageofpewaukeewi.gov - (262) 691-5660

## PROPERTY / PROPERTY OWNER INFORMATION

Property Address: 404 Lake Street Tax Key: PWV 0899235004  
Property Owner Name: Pewaukee School District Zoning of Property: IPS

## APPLICANT INFORMATION

Applicant Name: John Gahan Applicant Phone #: 262 695-5038  
Applicant Address: 404 Lake Street, Pewaukee, WI 53072  
Applicant Email: gahajoh@pewaukeeschools.org

## DESCRIPTION OF REQUEST (Please be thorough and attach additional pages if needed)

Business Name Corresponding to Site Plan: Pewaukee School District  
FEIN, if applicable: 39-6003870  
Summary of Request (New Construction, Addition, Modification, etc.): Modify the business site plan to allow for the expansion of the current parking lot to the South to improve the safety of student drop off on the North end of the existing Pewaukee Lake Elementary

## DIRECTIONS / NOTES—See page 4 for specific items required

NOTE: As this is for consultative purposes only, an engineering review will not take place at this time. An engineering review will take place if/when a formal application for approval is submitted.

**Please return Completed Application Forms along with the following:**

- 1. One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less. Also provide one full size scale copy if larger than 11x17.
- 2. One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email)
- 3. Signatures on page 3
- 4. Completed Professional Services Reimbursement Form
- 5. Conditional Use for Restaurant/Night Club must be attached **if applicable**

**For Office Use Only** Staff Initials: \_\_\_\_\_ Date/Time Received: \_\_\_\_\_

**Provide detailed information with your application that addresses the following:**

1. Development Plans of the proposed use in sufficient detail to enable the Commission to evaluate your application such as architectural & landscape treatment, proper placement of the building(s) on the lot, traffic generation & circulation, provision for parking, site grading and drainage, exterior lighting, dumpster location and screening, outside storage of any sort, and manner of control devices (when necessary) to eliminate noise, dust, odor, smoke or other objectionable operating conditions & ensure general compatibility of the proposed use within its surroundings.
  
2. It is the responsibility of the applicant/owner to ensure that the proposed project complies with the Village's Land Development Code. It is also highly recommended that the applicant/owner review the Village's adopted Land Use Plan to ensure a proper understanding of the Village's future vision for the area in question.
  
3. Signage shall be determined through a sign permit process and/or a sign plan approved by the Plan Commission. Permits for individual signs may be applied for with the Village's Code Compliance Officer.

  
 \_\_\_\_\_  
**Property Owner Printed Name**

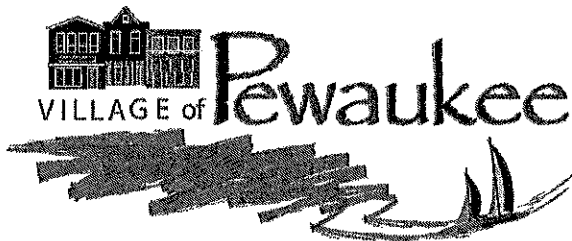
  
 \_\_\_\_\_  
**Signature of Property Owner**

The application will not be processed without the Owner's Signature regardless of who is listed as the Applicant. This signature authorizes the Village of Pewaukee to process the Conditional Use Approval Application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

  
 \_\_\_\_\_  
**Applicant's Printed Name**

  
 \_\_\_\_\_  
**Signature of Applicant**

If you have any questions, please call Village Hall at (262) 691-5660.



# PROFESSIONAL SERVICES REIMBURSEMENT AGREEMENT

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukeewi.gov—262-691-5660

**PROPERTY INFORMATION**

Property Address: 404 Lake Street Tax Key: PWV0899235004

Property Owner's Name: John Gahan, Pewaukee School District Phone Number: 262 695-5038

**RESPONSIBLE PARTY INFORMATION - All invoices will be mailed to this address.**

Business Name: Pewaukee School District FEIN: 39-6003870

Person Responsible for Payment / Business Contact Name: John Gahan, Asssitant Superintendent / CFO

Mailing Address: 404 Lake Street, Pewaukee, WI 53702

Responsible Party / Contact Phone Number: 262 695-5038

Responsible Party / Contact Email Address: gahajoh@pewaukeeschools.org

**AGREEMENT / SIGNATURES - Property Owner signature is required.**

Pursuant to the Village of Pewaukee Code of Ordinances Sec 40.116(b), the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff or other expert consultants are retained by the Village in order to complete a proper project review results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Treasurer shall charge those service fees incurred by the Village to the applicant/property owner. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

By signing this form, I, the undersigned, have been advised that pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner, or any other Village professional staff or other expert consultants retained by the Village in order to complete a proper project review provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

**The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.**

Property Owner Signature: [Signature] Printed Name: John Gahan Date: 3-19-26

Applicant Signature: [Signature] Printed Name: John Gahan Date: 3-19-26

**For Office Use Only** Staff Initials: \_\_\_\_\_ Date Received: \_\_\_\_\_



**LEGEND**

⊙	SANITARY SEWER MANHOLE	⊙	LIGHT POLE	— SAN —	SANITARY SEWER
⊕	STORM MANHOLE	⊕	ELECTRICAL MANHOLE	— W —	WATER MAIN
⊖	CURB INLET	⊖	SIGN	— ST —	STORM SEWER
⊙	FIRE HYDRANT	⊙	WATER MANHOLE	— G —	UNDERGROUND GAS
⊕	WATER VALVE			— E —	UNDERGROUND ELECTRIC
⊖	GAS VALVE			— T —	UNDERGROUND TELEPHONE
				— FIB —	UNDERGROUND FIBER OPTICS

north

SCALE IN FEET

**DIGGERS HOTLINE**  
 Toll Free (800) 242-8511

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	04-09-25	CITY SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: CAR  
 Reviewed By: BRN  
 Approved By: BRN

SHEET TITLE:  
**EXISTING CONDITIONS**

SHEET NUMBER:  
**C1.0**

PLAN MODIFICATIONS:

#	Date	Description
1	12-05-25	CITY SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: CAR  
 Reviewed By: BNB  
 Approved By: BRB

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C2.0**

**GENERAL NOTES**

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE RIGHT-OF-WAY AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS, JURISDICTIONAL SPECIFICATIONS, AND APPROVED BY THE JURISDICTION AUTHORITY.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- CONTRACTOR SHALL RESTORE ALL BUILDINGS, PAVEMENT, PIPES, SLOPES, AND STRUCTURES DAMAGED BY THE CONTRACTOR TO PRE-EXISTING OR BETTER CONDITIONS.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTIONAL AUTHORITY AND IS SUBJECT TO CHANGE AT ANY TIME.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- ANY REFERENCES TO THE TERMS OR ENTITY ABBREVIATIONS IN THE FOLLOWING NOTES AND SPECIFICATIONS SHALL BE UNDERSTOOD AS FOLLOWS:
  - "JURISDICTION" - THE LOCAL GOVERNMENTAL AGENCY (I.E. CITY, VILLAGE, TOWN, COUNTY, STATE, OR UTILITY SERVICE PROVIDER) HAVING AUTHORITY.
  - "STATE HIGHWAY SPECIFICATIONS" - STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION AND SUPPLEMENTS
  - "STANDARD SPECIFICATIONS" - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION AND SUPPLEMENTS
  - WISCONSIN DEPARTMENT OF TRANSPORTATION - "WISDOT"
  - WISCONSIN DEPARTMENT OF NATURAL RESOURCES - "WDNR"
  - DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES - "DPS" OR "SPS"

**PAVING NOTES**

- GENERAL:
  - PAVING SHALL CONFORM TO STATE HIGHWAY SPECIFICATIONS, APPLICABLE JURISDICTIONAL SPECIFICATIONS.
  - ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
  - ALL SPOT GRADES ARE TO EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
  - SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
  - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER, PAVEMENT, OR SIDEWALK SHALL MATCH EXISTING AND MEET JURISDICTIONAL REQUIREMENTS.
- CRUSHED AGGREGATE BASE COURSE SPECIFICATIONS:
  - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305 OF THE STATE HIGHWAY SPECIFICATIONS.
  - RECLAIMED OR RECYCLED ASPHALT MAY NOT BE USED AS CRUSHED AGGREGATE BASE COURSE UNLESS SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD. USE OF ANY OTHER REPROCESSED OR BLENDED MATERIAL MUST FIRST BE APPROVED BY ENGINEER OF RECORD.
  - DO NOT PLACE BASE ON FROZEN FOUNDATIONS UNLESS THE ENGINEER APPROVES OTHERWISE.
  - DO NOT PLACE BASE ON FOUNDATIONS THAT ARE SOFT, SPONGY, OR COVERED BY ICE OR SNOW.
- HOT MIXED ASPHALT (HMA) PAVING SPECIFICATIONS:
  - THE PLACING, CONSTRUCTION, AND COMPOSITION OF THE BASE COURSE AND HMA SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
    - WEATHER LIMITATIONS:
      - DO NOT PLACE HMA WHEN BASE IS WET OR CONTAINS EXCESS MOISTURE.
      - DO NOT PLACE ASPHALT MIXTURE WHEN THE AIR TEMPERATURE IS APPROXIMATELY 3' ABOVE GRADE, IN SHADE, AND AWAY FROM ARTIFICIAL HEAT SOURCES IS LESS THAN 40°F UNLESS A VALID ENGINEER-ACCEPTED COLD WEATHER PAVING PLAN IS IN EFFECT.
    - PLACE ASPHALT MIXTURE ONLY ON A PREPARED, FIRM AND COMPACTED BASE, FOUNDATION LAYER, OR EXISTING PAVEMENT SUBSTANTIALLY SURFACE-DRY AND FREE OF LOOSE AND FOREIGN MATERIAL. DO NOT PLACE OVER FROZEN SUBGRADE OR BASE, OR WHERE THE ROADBED IS UNSTABLE.
    - APPLY TACK COAT ONLY WHEN THE AIR TEMPERATURE IS 32°F OR MORE UNLESS THE ENGINEER APPROVES OTHERWISE IN WRITING.
    - ALL ASPHALT (BOTH UPPER AND LOWER LAYERS) SHALL BE DELIVERED TO THE PROJECT SITE AT A TEMPERATURE NOT LOWER THAN 250°F.
  - CONTRACTOR SHALL ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
  - BINDER COURSE AGGREGATE:
    - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTION 460 OF THE STATE HIGHWAY SPECIFICATIONS.
    - SURFACE COURSE AGGREGATE:
      - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
    - ASPHALTIC MATERIALS:
      - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTIONS 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
- CONCRETE PAVING SPECIFICATIONS:
  - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 405, 415, AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
  - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
  - CONTRACTOR SHALL PROVIDE A JOINTING PLAN TO ENGINEER IF NOT INCLUDED IN THE PLANS. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 15' ON CENTER.
  - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 100' APART.
  - PLACE EXPANSION JOINTS IN CURB, GUTTER, OR CURB AND GUTTER CONSTRUCTED NEXT TO ASPHALTIC PAVEMENT OR SURFACING. LOCATE JOINTS EVERYWHERE THAT TANGENT AND RADIAL CURB OR CURB AND GUTTER MEET, ON EACH SIDE OF EVERY INLET 3' FROM THE INLET, BUT NO CLOSER THAN 6" FROM ANOTHER JOINT, AND ON TANGENT SECTIONS PLACE BETWEEN 6' AND 300'.
  - IF CONSTRUCTING CURB, GUTTER, OR CURB AND GUTTER NEXT TO, OR ON, CONCRETE PAVEMENT CONSTRUCTED WITH EXPANSION JOINTS, THEN PLACE EXPANSION JOINTS TO MATCH THE EXPANSION JOINT LOCATIONS IN THE PAVEMENTS.
  - FOR CURB AND GUTTER, FORM CONTRACTION JOINTS BY SAWING OR FORMING AN INDUCED PLANE OF WEAKNESS AT LEAST 2" DEEP IN THE CURB, GUTTER, OR CURB AND GUTTER DIRECTLY OPPOSITE CONSTRUCTION OR CONTRACTION JOINTS IN ADJOINING CONCRETE PAVEMENT AND AT THE REQUIRED SPACING IN CURB, GUTTER, OR CURB AND GUTTER ADJOINING ASPHALTIC PAVEMENT. SPACE JOINTS BETWEEN 6' AND APPROXIMATELY 20' APART, AS THE ENGINEER DIRECTS.
  - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
  - CONTRACTOR SHALL INSTALL TRUNCATED CONE WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS AS SPECIFIED ON PLANS AND IN ACCORDANCE WITH STATE AND FEDERAL REQUIREMENTS.
- PAVEMENT MARKING SPECIFICATIONS:
  - ALL PARKING STALL LINES SHALL BE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT.
  - ALL PAVEMENT MARKINGS INCLUDING STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, AND DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.

**LEGEND**

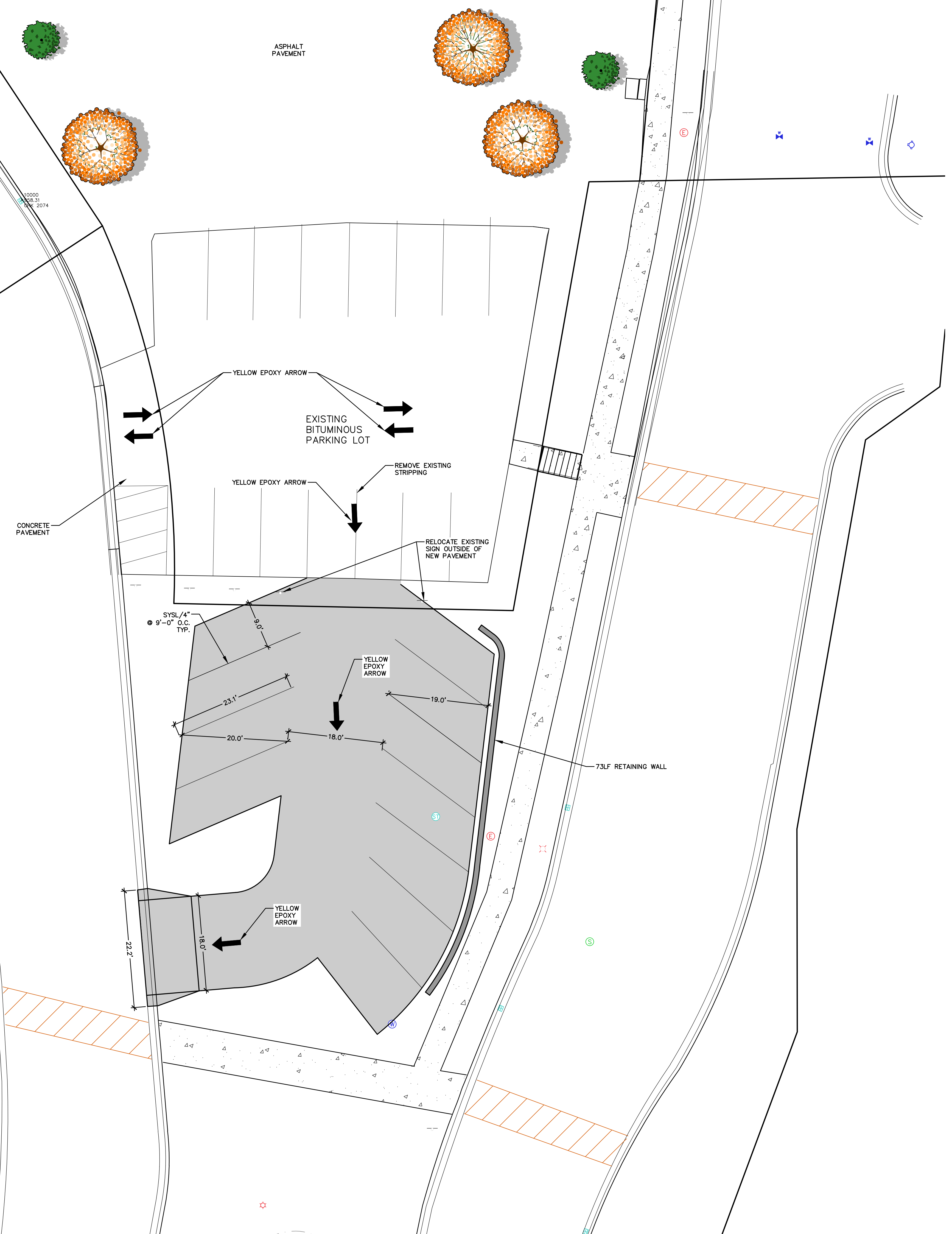
- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- PAVEMENT SETBACK LINE
- EDGE OF PAVEMENT
- ASPHALT PAVEMENT
- RETAINING WALL



SCALE IN FEET  
 10' 0 10'



SCHOOL STREET

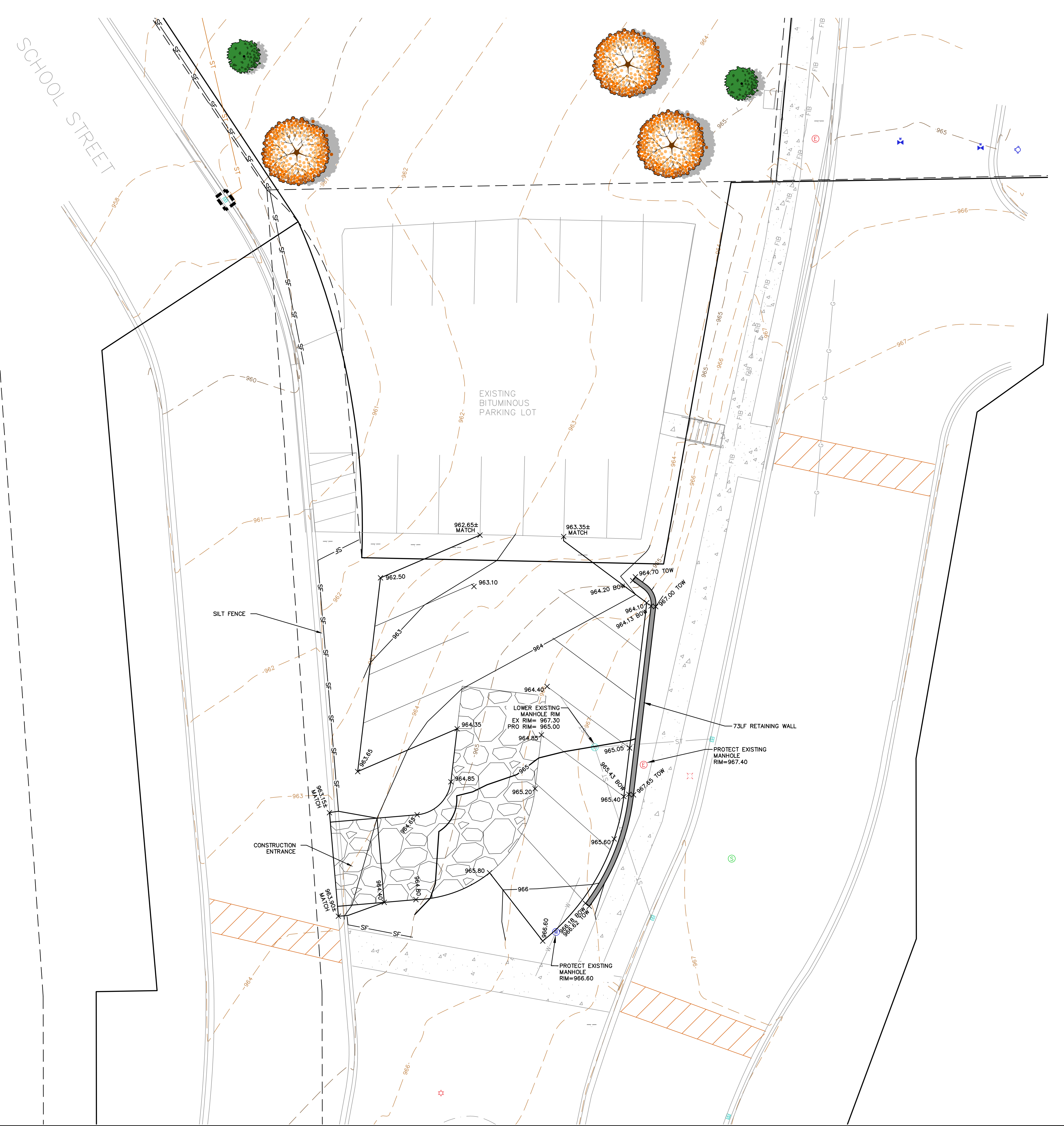


**GRADING AND EARTHWORK NOTES**

- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY, AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES, WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST-EFFECTIVE APPROACH TO BALANCE EARTHWORK. GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- ALL EXCAVATIONS AND FILLS SHALL BE TO THE ELEVATIONS SHOWN ON THE DRAWINGS AND SHALL INCLUDE SUFFICIENT DEPTHS FOR PLACEMENT OF FILL MATERIALS, BASE COURSES, PAVEMENTS, TOPSOIL, AND OTHER MATERIALS TO THE SPECIFIED DEPTHS.
- CONTRACTOR SHALL NOT EXCAVATE BELOW ELEVATIONS OR DESIGN GRADES SHOWN ON THE DRAWINGS WITHOUT PRIOR AUTHORIZATION FROM ENGINEER AND OWNER.
- PRIOR TO ALL EXCAVATION OR FILLING OPERATIONS, CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TOPSOIL FROM PROPOSED LOCATIONS OF BUILDINGS, STRUCTURES, ROADS, WALKS, OTHER PAVED AREAS, STORM WATER FACILITIES OR WITHIN THE GRADING EXTENTS WHERE EXISTING GRADES ARE ALTERED BY MORE THAN 7". REMOVED OR STRIPPED TOPSOIL SHALL BE SEGREGATED AND STOCKPILED ON-SITE IN AN APPROPRIATE LOCATION TO BE RESPREAD AS SPECIFIED ON THE DRAWINGS.
- CONTRACTOR SHALL NOT PLACE ANY FILL OR OTHER MATERIALS ON AREAS THAT HAVE NOT HAD TOPSOIL REMOVED, ARE FROZEN, SATURATED, OR YIELDING. CONTRACTOR SHALL NOTIFY OWNER OR ENGINEER IF SUBGRADE CONDITIONS ARE NOT SUITABLE FOR SUPPORTING FILL AND A FURTHER DETERMINATION SHALL BE PROVIDED BY OWNER OR ENGINEER.
- CONTRACTOR SHALL PLACE THE FILLS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT INCLUDING LIFT DEPTHS AND COMPACTION EFFORTS.
- PRIOR TO PLACEMENT OF BASE COURSE MATERIALS IN PAVEMENT OR HARD SURFACE AREAS OR CONDUCTING EXCAVATION BELOW SUBGRADE (EBS) ELEVATIONS, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER TO CONDUCT AN INSPECTION OF THE PREPARED SUBGRADE AND PROOF-ROLLING. PROOF-ROLLING SHALL BE CONDUCTED BY THE CONTRACTOR IN WITNESS OF THE OWNER AND ENGINEER. OWNER AND ENGINEER SHALL DETERMINE IF AREAS OF EBS ARE REQUIRED. EBS SHALL BE COMPLETED BY THE CONTRACTOR PER THE DIRECTION OF THE OWNER AND ENGINEER.
- SOIL MATERIAL SPECIFICATIONS:**
  - FILL AND BACKFILL MATERIALS**
    - MATERIAL SHALL BE SATISFACTORY. MATERIALS EXCAVATED FROM THE SITE, PER THE GEOTECHNICAL REPORT, IF SATISFACTORY MATERIALS ARE NOT AVAILABLE ON-SITE, IMPORTED FILL MATERIAL SHALL BE REQUIRED. REFER TO IMPORTED FILL MATERIAL SPECIFICATIONS.
    - MATERIAL SHALL BE PROVIDED BY THE CONTRACTOR FROM OFFSITE BORROW AREAS WHEN SUFFICIENT, SATISFACTORY MATERIALS ARE NOT AVAILABLE ON-SITE. IMPORTED FILL MATERIAL SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND CONSIST OF CLEAN MATERIAL OF INORGANIC SOILS OR A MIXTURE OF INORGANIC SOIL AND ROCK, STONE, OR GRAVEL. THE MATERIAL SHALL BE FREE OF TOPSOIL, VEGETATION, PAVEMENT RUBBLE, DEBRIS, OR OTHER DELETERIOUS MATERIALS. THE MAXIMUM NOMINAL DIMENSION OF MATERIALS CONSISTING OF ROCK, STONE, OR GRAVEL SHALL BE 6".
    - GRANULAR FILL**
      - MATERIAL SHALL CONSIST OF CLEAN MATERIAL MEETING THE REQUIREMENTS OF "GRADE 1" OR "GRADE 2" GRANULAR BACKFILL AS DEFINED IN SECTION 209.2.1 OF THE STATE HIGHWAY SPECIFICATIONS.

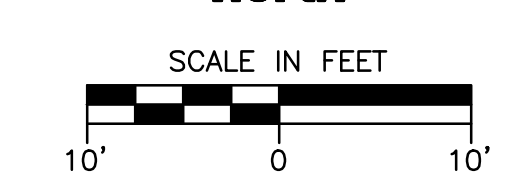
**EROSION CONTROL NOTES**

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH WDMR TECHNICAL STANDARDS AND JURISDICTIONAL REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESSEEN FIELD CONDITIONS.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE, AND EXISTING INLET PROTECTION) PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE COVER. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESSEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO WDMR TECHNICAL STANDARDS AND JURISDICTIONAL REQUIREMENTS. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE JURISDICTIONAL AUTHORITIES PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY JURISDICTIONS HAVING AUTHORITY AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.1" ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRE-APPROVED BY THE JURISDICTION. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" SELECTED CRUSHED CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A MANNER WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT OFF-SITE AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT, AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE JURISDICTIONAL AUTHORITIES.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER."
- DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN 24 HOURS TO PREVENT SOIL TRANSPORTATION.
  - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE WDMR DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING PER STATE HIGHWAY SPECIFICATIONS OR APPLICATION OF A WDMR APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN SEVEN (7) DAYS OF REACHING FINAL GRADE. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING PER STATE HIGHWAY SPECIFICATIONS. EROSION MATTING AND/OR NETTING USED ON-SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDMR TECHNICAL STANDARDS 1052 AND 1053.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDMR TECHNICAL STANDARD 1068.
- A CONCRETE WASHOUT AREA SHALL BE DESIGNATED ON-SITE. CONTRACTOR SHALL USE PRE-MANUFACTURED ABOVE GROUND WASHOUT TOTE OR EQUIVALENT CONTAINMENT AREA FOR ALL CONCRETE WASTE. CONCRETE WASTE SHALL ONLY BE CONTAINED IN ABOVE GROUND PRE-FABRICATED CONTAINERS OR CONSTRUCTED CONTAINMENT AREA AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FREQUENTLY DISPOSE OF OFF-SITE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS TO MAINTAIN THE SYSTEMS EFFECTIVENESS.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
  - THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED OR IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE. CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
  - STABILIZATION MEASURES SHALL BE DETERMINED BASED ON-SITE CONDITIONS WHEN CONSTRUCTION ACTIVITY HAS CEASED INCLUDING, BUT NOT LIMITED TO, WEATHER CONDITIONS AND LENGTH OF TIME THE MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
    - PERMANENT SEEDING, IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
    - TEMPORARY SEEDING, MAY CONSIST OF SPRING OATS(100LBS/ACRE) IN SPRING/SUMMER OR WHEAT OR CEREAL RYE (150LBS/ACRE) IN FALL
    - HYDRO-MULCHING WITH A TACKIFIER
    - WOVEN AND NON-WOVEN GEOTEXTILES
    - EROSION MATTING
    - SCOURING
    - OTHER MEASURES AS APPROVED BY THE ENGINEER
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A CONTIGUOUS DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDMR REQUIREMENTS AND/OR REQUEST FOR PERMIT CLOSURE IN ACCORDANCE WITH JURISDICTION PERMIT AND SPECIFICATION REQUIREMENTS.



**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- PAVEMENT SETBACK LINE
- EDGE OF PAVEMENT
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- SILT FENCE
- CONSTRUCTION ENTRANCE
- EROSION MATTING
- SPOT ELEVATION
- TOW - TOP OF WALL
- BOW - BOTTOM OF WALL
- MATCH - MATCH EXISTING GRADE
- INLET PROTECTION



**JSD**  
 CREATE THE VISION TELL THE STORY  
 jsdinc.com  
**MILWAUKEE REGIONAL OFFICE**  
 W238 N1610 BUSSIE ROAD, SUITE 100  
 WAUKESHA, WISCONSIN 53190  
 P. 262.513.0666

**CLIENT:**  
**PEWAUKEE SCHOOL DISTRICT**

**CLIENT ADDRESS:**  
**404 LAKE ST  
 PEWAUKEE, WI 53072**

**PROJECT:**  
**PARKING LOT ADDITIONS**

**PROJECT LOCATION:**  
**331 LAKE ST  
 PEWAUKEE, WI 53072**

**PLAN MODIFICATIONS:**

#	Date	Description
1	04-09-25	CITY SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: CAR  
 Reviewed By: BNB  
 Approved By: BRB

**SHEET TITLE:**  
**GRADING PLAN**

**SHEET NUMBER:**  
**C3.0**

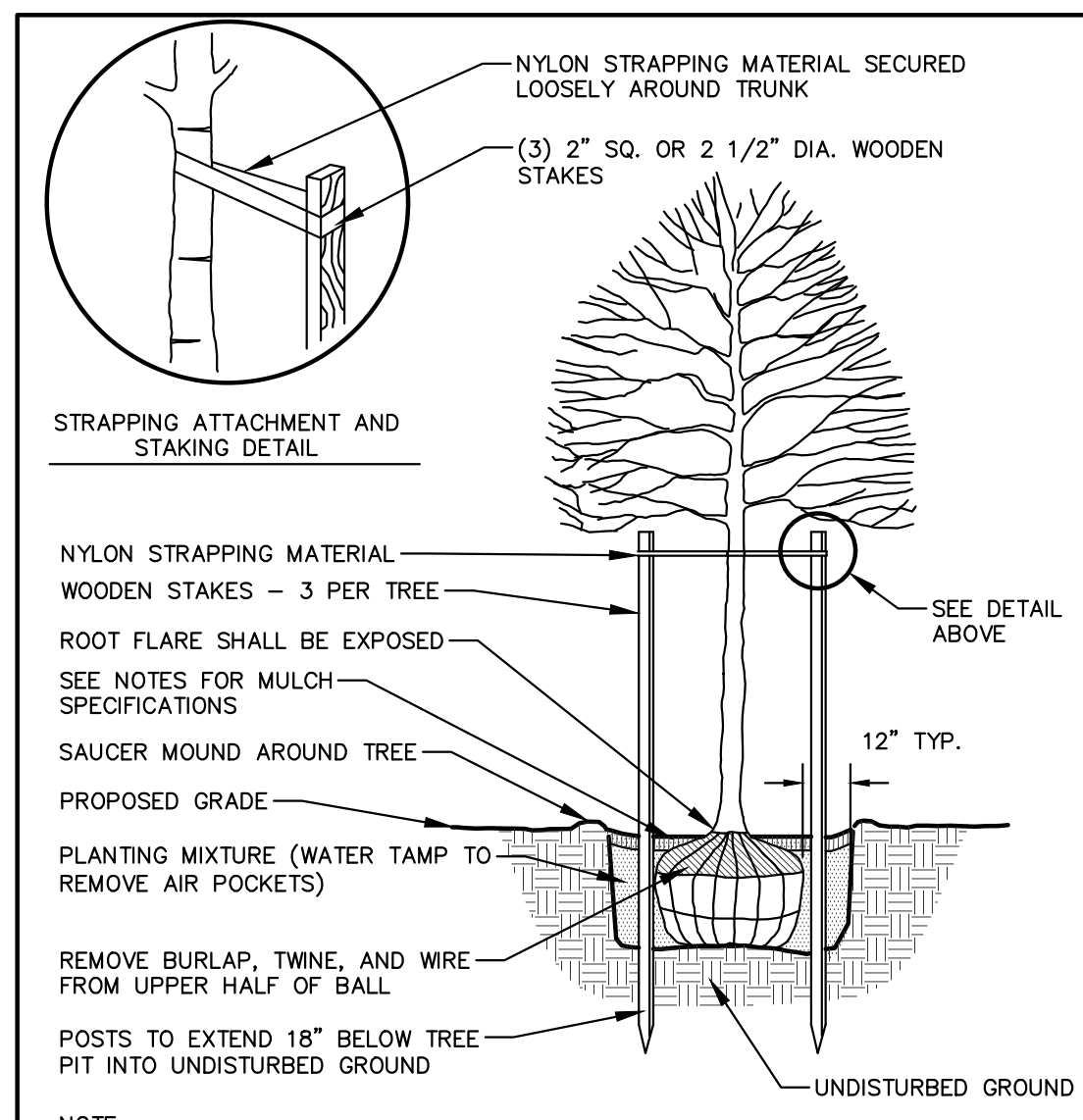
JSD PROJECT NO: 25-16943

File: R:\2025\251694\DWG\Civil\Sheet\C3-1864 C3 Grading Plan.dwg Layout: C3 User: Craig Johnson Plotted: Apr 29, 2025, 2:50pm Xrefs:

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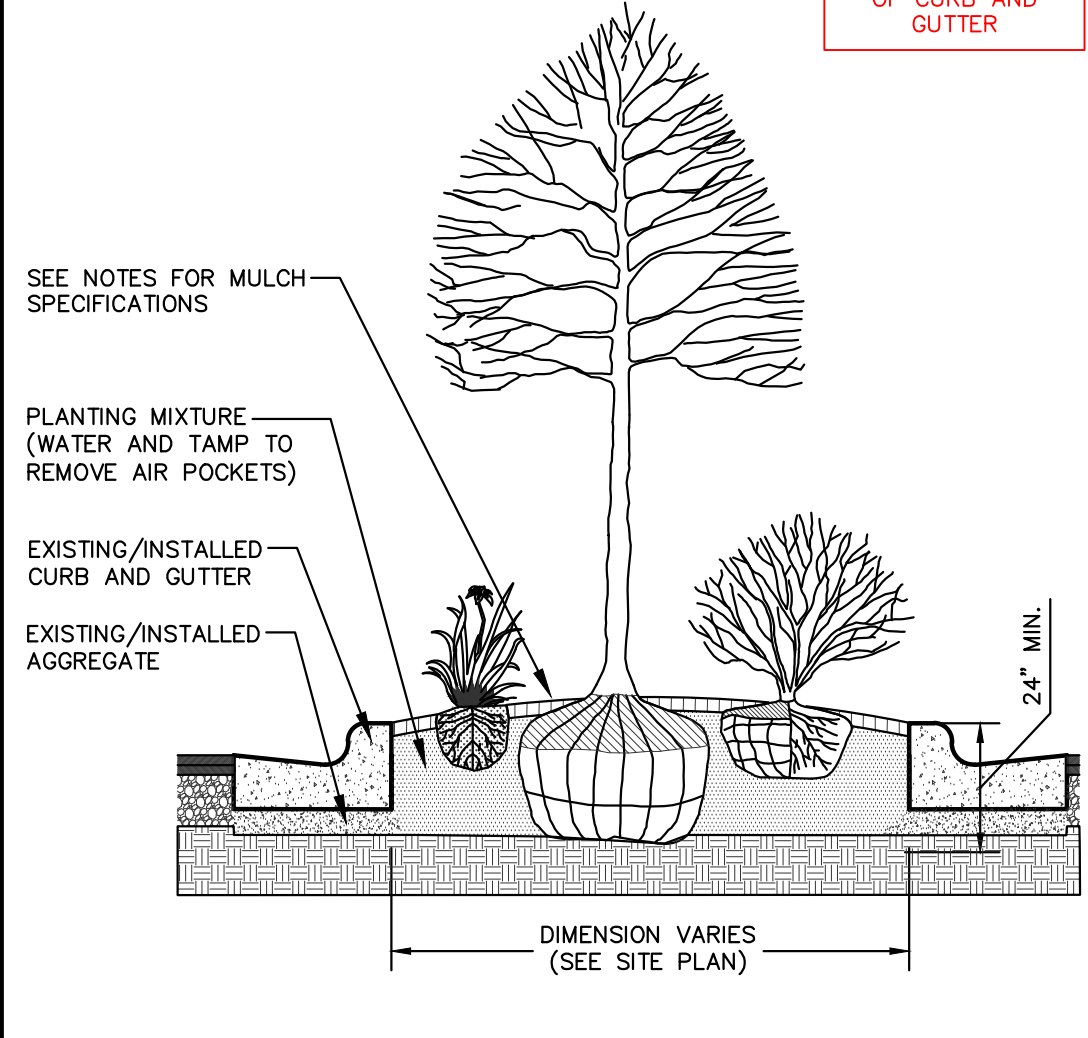


NOTE:  
 1. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED.  
 2. REMOVE NYLON STRAPPING WITHIN 9-18 MONTHS FOLLOWING INSTALLATION

**DECIDUOUS TREE PLANTING DETAIL**  
 N.T.S.

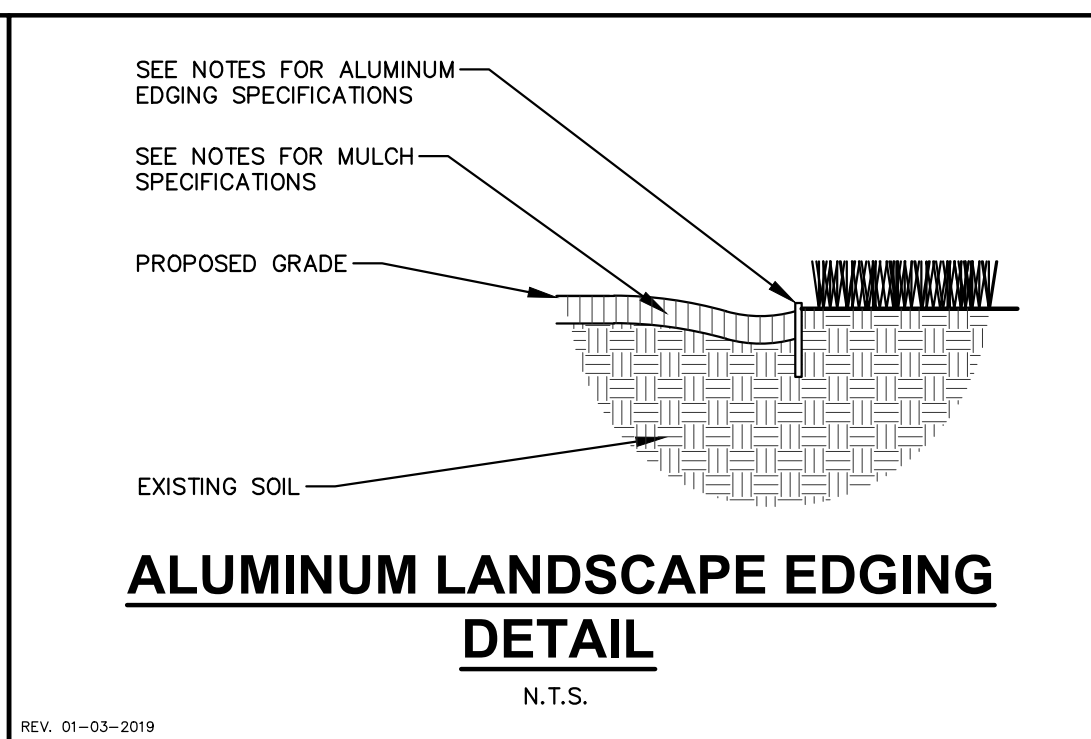
REV: 01-04-2019

**MOUND TOPSOIL 12\"/>**



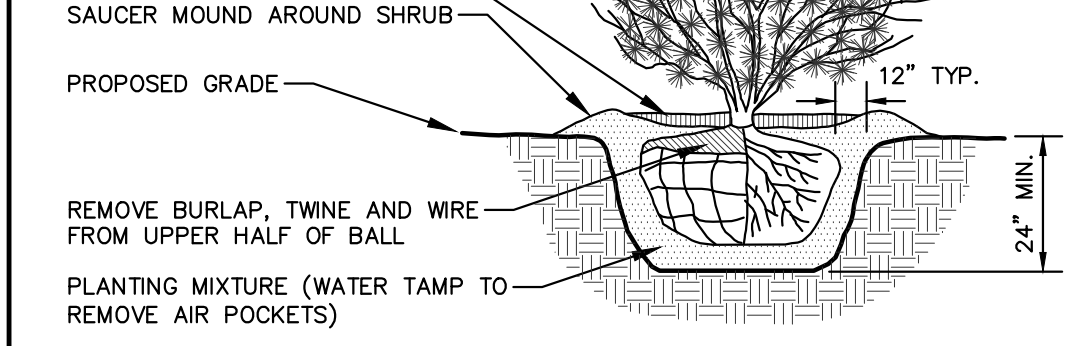
**PARKING ISLAND LANDSCAPE DETAIL**  
 N.T.S.

REV: 01-03-2019



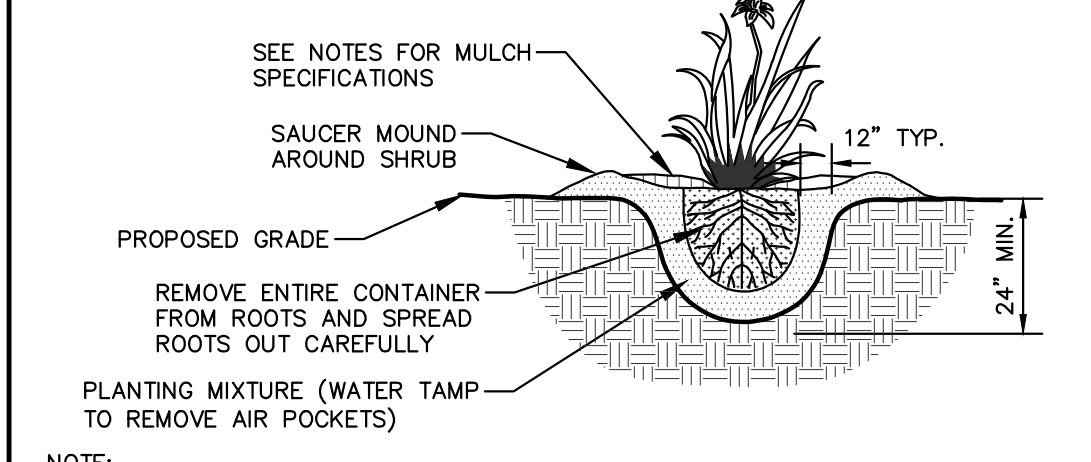
**ALUMINUM LANDSCAPE EDGING DETAIL**  
 N.T.S.

REV: 01-03-2019



**SHRUB PLANTING DETAIL**  
 N.T.S.

REV: 01-03-2019



**PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL**  
 N.T.S.

REV: 01-03-2019

**GENERAL NOTES**

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS BY PLACING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE. IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT. IF PRUNING OCCURS IN SEASON, DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

**LANDSCAPE MATERIAL NOTES**

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DETERIOROUS MATERIALS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE, SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOULDER CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 2" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPET'S MADISON PARKET GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE.

**CONTRACTOR AND OWNER RESPONSIBILITY NOTES**

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SOODED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

**JSD**  
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 P. 262.513.0666

CLIENT:  
**PEWAUKEE SCHOOL DISTRICT**

CLIENT ADDRESS:  
**404 LAKE ST  
 PEWAUKEE, WI 53072**

PROJECT:  
**PARKING LOT ADDITIONS**

PROJECT LOCATION:  
**331 LAKE ST  
 PEWAUKEE, WI 53072**

PLAN MODIFICATIONS:

#	Date:	Description:
1	04-09-25	CITY SUBMITTAL
2		
3		
4		
5		
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11		
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13		
14		
15		

Designed By: HMB  
 Reviewed By: MRA  
 Approved By: BRB

**SHEET TITLE:  
 LANDSCAPE DETAILS &  
 NOTES**

SHEET NUMBER:  
**L2.0**  
 JSD PROJECT NO: 25-1842

**DIGGERS HOTLINE**  
 Toll Free (800) 242-8511



To: Jeff Knutson, President  
Members of the Plan Commission

From: Matt Heiser  
Village Administrator

Date: May 5, 2026

Re: May 14, 2026 Village Board Meeting Agenda Item 5(f)  
Review, discussion, and possible direction to staff regarding Seasonal and Temporary  
Uses in the Village of Pewaukee.

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### **BACKGROUND**

Village Board members have expressed concerns to Village staff about vendors setting up temporary sales in the parking lots of other businesses. People have observed fruit for sale in the parking lot of Menards, a temporary green house in the parking lot of Ace Hardware, and food trucks in the parking lots of private businesses.

The intent of this agenda item is to review the current ordinances with Plan Commission members and seek input on if they wished to see changes.

### **ACTION REQUESTED**

The action requested is to direct staff to update the code if it is the will of the Commission.

### **ANALYSIS**

Two different sections of municipal code apply to temporary commercial situations.

1. Section 18 describes the conditions, processes and allowances of temporary food permits. This is not zoning related and not within the purview of the Plan Commission.
2. Section 40 describes requirements for certain types of temporary land uses.

#### **Section 40**

Section 40.415 is the part of the Village zoning code that specifically speaks to temporary land uses.

- This would apply to temporary or seasonal selling on PRIVATE property.
- If the seasonal use is 9 months or less, and the structures are temporary, the use may be approved by the Village Administrator.
- Under certain circumstances the temporary use may require a Conditional Use Grant such as if the structures are permanent or if the temporary structures do not comply with set-backs or if

the use involves food/concession sales/vending and/or retail type peddling for more than two consecutive days or three days cumulatively in any 30 day period.

- If the seasonal use involves food/concession sales/vending and/or other retail type peddling to the general public less than 2 consecutive days or less than 3 days in a 30 day period, then the land owner does not need a CUG, but may obtain temporary use approval from the Administrator.

To date staff have been issuing:

1. A Temporary Use Permit for the greenhouse in the parking lot of Ace Hardware. Staff is evaluating whether this should be a CUG under current code for future years.
2. A Food Vendor Permit for peach sales in Menards Parking Lot early in the year.
3. A Food Vendor Permit for peach sales in Menards Parking Lot for 1 day mid-year.
4. A Food Vendor Permit for citrus sales in Menards Parking Lot for 1 day in autumn.

A food truck, on private property, for less than 2 consecutive days or less than 3 days in a 30 day period is allowed by current code.

Attachments:

1. Section 40.415 of the Municipal Code